



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

CITY OF NEWPORT BEACH

ZONING ADMINISTRATOR STAFF REPORT

October 24, 2013

Agenda Item No. 2:

SUBJECT: ZFRT 34th Street Condominium Conversion - (PA2013-174)
3401 Balboa Boulevard and 131 34th Street
▪ Condominium Conversion No. CC2013-002

APPLICANT: Bill Caskey

PLANNER: Jason Van Patten, Planning Technician
(949) 644-3234, jvanpatten@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-2 (Two-Unit Residential)
- **General Plan:** RT (Two-Unit Residential)

PROJECT SUMMARY

A condominium conversion to convert an existing duplex into a two-unit condominium project. No waivers of Title 19 development standards for condominium conversions are proposed with this application.

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. _ approving Condominium Conversion No. CC2013-002 (Attachment No. ZA 1).

DISCUSSION

- The property is located on the Balboa Peninsula at the intersection of Balboa Boulevard and 34th Street in the R-2 (Two-Unit Residential) Zoning District.
- The property is developed with a duplex built to condominium standards containing separate utility connections for each unit. The building permit was issued June 13, 2006 and construction was finished March 22, 2007.

- The Land Use Element of the General Plan designates the site as RT (Two-Unit Residential). The existing duplex is consistent with this designation.
- The existing duplex was originally intended to be developed as condominiums. A tentative parcel map for condominium purposes was filed and approved concurrent with construction of the units. However, construction was completed prior to the recordation of the parcel map, and subsequently, the building was finished as a duplex instead of a two-unit condominium. As a result, a condominium conversion is required.
- This condominium conversion application is for the purpose of regulating the conversion of the existing rental units to condominiums and to mitigate any hardships placed upon tenants affected by the conversion.
- Tentative Parcel Map No. NP2005-049 was approved by the Zoning Administrator on October 17, 2005, and the final map (No. 2005-204) was recorded with the County of Orange on November 9, 2007, which satisfies a general requirement of Municipal Code Chapter 19.64 (Conversion of Rental Units to Ownership).
- One garage parking space and one tandem carport parking space are provided for each dwelling unit within the duplex, and the project satisfies the off-street parking requirements of Chapter 20.40 (Off-Street Parking) of the Municipal Code, and the requirements of Modification Permit No. MD2005-105 which permitted a reduced interior width of 8 feet 9½ inches for each single car garage.
- Pursuant to Section 19.64.040 (Tenant Notification), existing tenants have been notified informing them of this application and their rights with regards to their tenancy.
- A special inspection of the duplex for the purpose of identifying building safety violations was conducted on September 25, 2013. One safety violation was identified regarding the size of bedroom windows. The project is conditioned so that the applicant resolves all building safety violations prior to the conversion of rental units to ownership.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301, of the California Environmental Quality Act (CEQA) Guidelines - Class 1 (Existing Facilities).

This exemption authorizes minor alterations to existing structures involving negligible or no expansion of use including but not limited to the division of existing multiple-family or single-family residences into common-interest ownership, and subdivision of existing

commercial or industrial buildings, where no physical changes occur which are not otherwise exempt. The proposed project involves the division of an existing duplex where no significant physical changes are proposed.

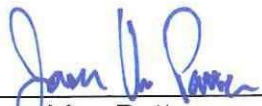
PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:



Jason Van Patten
Planning Technician

JM/jvp

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Site Photographs
	ZA 4	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2013-0##

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING CONDOMINIUM CONVERSION NO. CC2013-002 FOR A TWO-UNIT DUPLEX LOCATED AT 3401 BALBOA BOULEVARD AND 131 34TH STREET (PA2013-174)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Bill Caskey, with respect to property located at 3401 Balboa Boulevard and 131 34th Street, and legally described as Parcel 1 of Parcel Map No. 2005-204, requesting approval of a condominium conversion.
2. The applicant proposes a condominium conversion to convert an existing duplex into a two-unit condominium project. No waivers of Title 19 development standards for condominium conversions are proposed with this application.
3. The subject property is located within the Two-Unit Residential (R-2) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Two-Unit Residential (RT-E).
5. A public hearing was held on October 24, 2013, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt under the requirements of the California Environmental Quality Act, Class 1 (Existing Facilities).
2. The Class 1 exemption involves negligible or no expansion of an existing use. This classification includes the division of existing multiple-family or single-family residences into common-interest ownership, and subdivision of existing commercial or industrial buildings, where no physical changes occur which are not otherwise exempt. The proposed project involves the conversion of an existing duplex into a two-unit condominium development.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 19.64.070 (Standards for Condominium Conversion) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The minimum number, and the design and location of off-street parking spaces shall be provided in conformance with the provisions of the Zoning Ordinance in effect at the time of approval of the conversion.*

Facts in Support of Finding:

- A-1. Each unit of the existing duplex provides a single-car garage, and a tandem carport space, for a total of four spaces.
- A-2. The four spaces provided meet the number of spaces required (2 per unit) pursuant to Section 20.40.040 (Off-Street Parking Spaces Required). The design and location are in conformance with provisions of Chapter 20.40 (Off-Street Parking) of the Zoning Code, and Modification Permit No. MD2005-105 which granted a reduced width for each garage parking space.
- A-3. Modification Permit MD2005-105 was approved October 17, 2005 and permitted an interior garage width of 8 feet 9½ inches, due to the narrow lot width of 25 feet.

Finding:

- B. *Each dwelling unit within a building shall have a separate sewer connection to the City sewer.*

Facts in Support of Finding:

- B-1. The existing duplex was constructed with two separate sewer connections to the City sewer.

Finding:

- C. *Each sewer lateral shall be retrofitted/fitted with a cleanout at the property line.*

Facts in Support of Finding:

- C-1. The existing duplex was constructed with two separate sewer cleanouts located at the property line.

Finding:

D. Each unit shall maintain a separate water meter and water meter connection.

Facts in Support of Finding:

D-1. The existing duplex was constructed with two separate water meters and water meter connections.

Finding:

E. The electrical service connection shall comply with the requirements of Chapter 15.32 (Underground Utilities) of the Newport Beach Municipal Code.

Facts in Support of Finding:

E-1. The existing duplex was constructed with an electrical service connection that was at such time, determined to be in compliance with the requirements of Chapter 15.32.

Finding:

F. The applicant for a condominium conversion shall request a special inspection from the Building Division for the purpose of identifying any building safety violations. The applicant shall correct all identified safety violations prior to approval of a final map for the condominium conversion.

Facts in Support of Finding:

F-1. A special inspection was completed by the Building Division on September 25, 2013, and one safety violation was identified. The bedroom windows did not meet minimum egress opening size requirements.

F-2. As conditioned, the project will not be condominiums until all safety violations have been corrected.

Finding:

G. Permanent lot stakes and tags shall be installed at all lot corners by a licensed surveyor or civil engineer unless otherwise required by the City Engineer.

Facts in Support of Finding:

G-1. As conditioned, the project will comply with this requirement.

Finding:

- H. *For residential conversions, the project shall be consistent with the adopted goals and policies of the General Plan, particularly with regard to the balance and dispersion of housing types within the City.*

Facts in Support of Finding:

- H-1. The General Plan does not include any specific goals for the dispersion of rental housing within the area. Housing Program 2.1.1 of the Housing Element of the General Plan which restricts the conversion of rental units to condominiums in developments containing 15 or more units does not apply.
- H-2. Although the conversion from rental to ownership will reduce the number of rental opportunities in the area, the elimination of two rental units will not create a detrimental impact to housing opportunities in the area or City, as two units represents a very small fraction of the City's supply of rental housing (estimated to be approximately 17,500 units).

Finding:

- I. *The establishment, maintenance or operation of the use or building applied for shall not, under the circumstances of the particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.*

Facts in Support of Finding:

- I-1. The proposed project is to convert an existing duplex into two condominiums on property located within the R-2 zoning district.
- I-2. The use of the property will continue to be for two-unit residential purposes and there is no evidence suggesting this use has been detrimental to the health, safety, peace, comfort, and welfare of those residing or working in the neighborhood, or the City.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Condominium Conversion No. CC2013-002, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.

2. This action shall become final and effective 14 days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 24th DAY OF OCTOBER, 2013.

By:

Brenda Wisneski, AICP, Zoning Administrator

DRAFT

EXHIBIT "A"**CONDITIONS OF APPROVAL**Planning Division Conditions

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. No more than two dwelling units shall be permitted on the site.
4. Two-car parking, including one enclosed garage space and one covered or enclosed parking space, shall be provided on site for each dwelling unit per requirements of the Zoning Code and Modification Permit No. MD2005-105. All parking spaces shall be maintained clear of obstructions for the parking of vehicles at all times.
5. The applicant shall apply for a building permit for description change of the subject project development from "duplex" to "condominium." **The development will not be condominiums until this permit is finalized.**
6. Prior to the final of the building permit for description change, the applicant shall resolve all building safety violations identified in the special inspection.
7. Prior to the final of the building permit for description change, the applicant shall provide an updated site plan that depicts the curved wall at the corner of Balboa Boulevard and 34th Street. The wall shall be located outside of the easement area (approximate 3.08 feet by 3.08 feet by 4.36-foot triangle area), as described in Detail A of Parcel Map No. 2005-204.
8. The applicant shall verify that monuments (1 inch iron pipe with tag) are set On Each Lot Corner.
9. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the Newport Beach Municipal Code.
10. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and

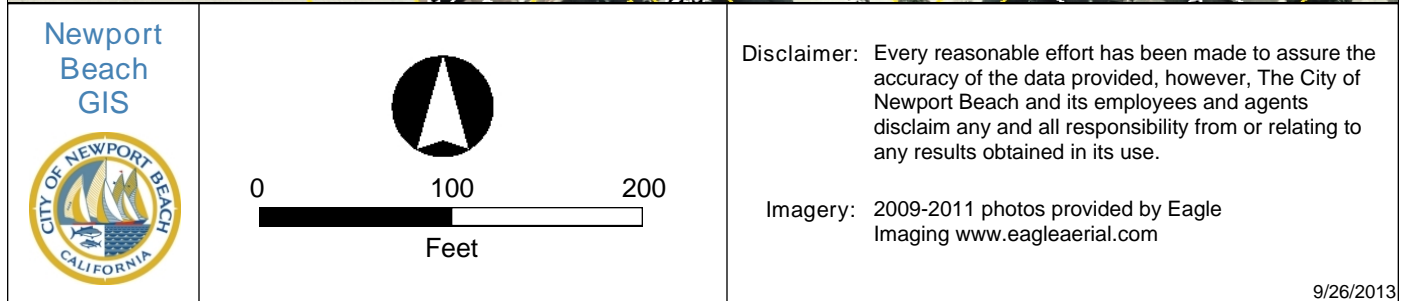
expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the ZFRT 34th Street Condominium Conversion including, but not limited to CC2013-002 (PA2013-174). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Building Department Conditions

11. Any building modifications or alterations may require the sound rating to be verified by wall and floor ceiling assembly where the units are adjoined or overlapped for a minimum STC 50.
12. Any building modifications or alterations may require penetration of light fixtures or other MPE systems in the one hour fire and sound rated assembly quantified to meet the required fire rating and sound rating (STC 50).
13. Any building modifications or alterations may require that all walls that support fire resistive floor assemblies meet one hour fire resisting assembly.
14. Any building modifications or alterations may require stairway elements to have an approved fire rating and sound rating assembly where the stairs of each individual unit overlap the other. Details substantiating the requirements shall be verified.
15. Any building modifications or alterations may require area over the garage or carports to meet the required fire resistive assembly and sound rating including light penetrations or MPE systems.
16. Utilities for each unit shall be independent. Each unit shall include independent water meter, independent fire riser, independent electrical service and independent plumbing system.

Attachment No. ZA 2

Vicinity Map



Attachment No. ZA 3

Site Photographs



Attachment No. ZA 4

Project Plans

ALL ROOF DRAINAGE SHALL BE CONDUCTED TO FINISH GRADE VIA APPROVED ROOF SUTTERS AND DOWNSPUTS TO CONCRETE SPLASH BLOCKS CONDUCT TO STREET THROUGH FOSSIL FILTER IN AN APPROVED DEVICE.

ALL SURFACE DRAINAGE SHALL SLOPE AWAY FROM BUILDING A MINIMUM 1 % FOR 5'-0" DISTANCE (MIN).

SURFACE DRAINAGE SHALL BE CONDUCTED TO APPROVED DISPOSAL AREA (STREET) WITH MINIMUM DISTANCE SLOPE FOR LANDSCAPE AND A.C. PAVEMENT OFF 2 % CONCRETE FOR 5'-0" MINIMUM GIVEN ELEVATION MAY BE ADJUSTED TO PROVIDE ADEQUATE DRAINAGE (PER NOTE #1)

NO TRENCHES OR EXCAVATION 5 FT. OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND ARE PERMITTED WITHOUT OBTAINING NECESSARY PERMIT FROM THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY (OSHA) PRIOR TO ISSUANCE OF BUILDING OR GRADING PERMITS.

ALL SUBSURFACE PIPES OR CONDUITS SHALL SLOPE 1 % TO DAY - LIGHT (MIN).

SECURE PERMISSION FROM COUNTY ENGINEER FOR CONSTRUCTION, GRADINS AND/OR DISCHARGE OF DRAINAGE WITHIN STREET RIGHT-OF-WAY.

PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.

ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND OBTAIN INSPECTION BEFORE POURING.

BUILDER SHALL STAKE AND FLAG PROPERTY LINES IN ACCORDANCE WITH A LICENSED SURVEY MAP.

ALL GRADINGS TO CONFORM TO CH. 70, UBC (2001 ED.)

REFER TO ATTACHED GRADINGS PLAN FOR SITE DRAINAGE AND CUT/FILL. CALCULATIONS MAINTAIN 30" CLEAR ACCESS AROUND BUILDING.

IN THE EVENT EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.

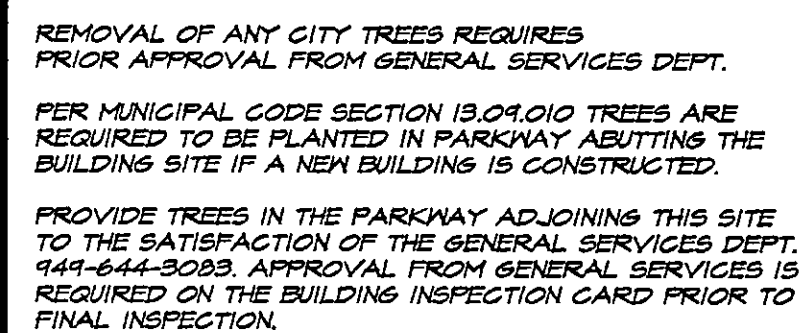
DRIVEWAYS AND SURFACE PAVING TO CONFORM TO TITLE 29, SEC. 23.05.104

APPROVED SEISMIC SHUT - OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE IF THE UTILITY AND BE RIGHT CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS LINE.

<u>PROVIDE PEDESTRIAN PROTECTION ADJACENT TO PUBLIC RIGHT OF WAY AS FOLLOWS:</u>	<u>DIST. FROM STRUCT. TO PROP LINE (SB)</u>	<u>PROTECTION</u>
SB < 6'		FENCE & CANOPY
SB < (HST OF STRUCT/4)		FENCE & CANOPY
(STRUCT HT/2) > SB > STRUCT HT/4		FENCE ONLY
SB > (STRUCT HT/2)		NONE

WHEN REQUIRED, FENCE AND CANOPY TO BE CONSTRUCTED PER UBC 3303.7.3 AND 3303.7.4.

PROVIDE A SEPARATE APPLICATION FOR: GRADINGS / DRAINAGE; PATIO COVER; MASONRY OR CONCRETE FENCES OVER 3'-0"; WOOD FENCES OVER 6'-0".



EXISTING SEWER LATERAL TO BE CHANGED AND A CLEAN-OUT INSTALLED IF THE EXISTING SEWER DOES NOT COMPLY WITH CITY STANDARD AND THE TOTAL COST OF THE CONSTRUCTION EXCEEDS 80% OF THE VALUE OF THE EXISTING STRUCTURE.

PLEASE SEE PUBLIC WORKS STANDARD DETAIL ON SHEET E-4.

AS PER CITY REQUIREMENTS THE EXISTING SEWER LATERAL TO BE CHANGED AND A CLEAN-OUT INSTALLED TO COMPLY WITH CITY STANDARD ANY OF THE FOLLOWING CONDITIONS OCCUR. THIS WILL BE DETERMINED BY THE BUILDING INSPECTOR.

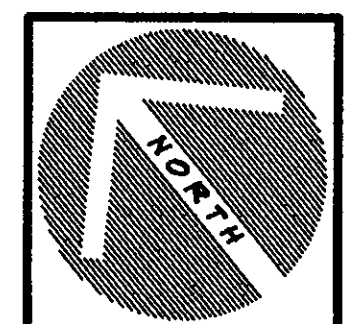
- A. ALTERATION TO THE BUILDING SEWER IS DONE.
- B. ADDITIONAL PLUMBING FIXTURES REQUIRE INCREASE IN SIZE OF BUILDING SEWER LINE.
- C. WHEN 6 OR MORE FIXTURE UNITS ARE ADDED TO AN EXISTING UNDERSIZED PLUMBING SYSTEM.
- D. WHEN IT IS FOUND THAT THE BUILDING SEWER IS INSTALLED IN AN ILLEGAL OR UNSANITARY MANNER.
- E. IF AREA OF ADDITION IS GREATER THAN 50% OF EXISTING AREA.
- F. IF AREA OF STRUCTURAL RENOVOL + ADDITION IS GREATER THAN 50% OF EXISTING AREA.

POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE PERMITS AND REVIEWS.

ISSUANCE OF A BUILDING PERMIT BY THE CITY DOES NOT RELIEVE THE APPLICANT OF LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN COMMUNITY ASSOCIATION APPROVAL OF PLANS.

CHIMNEY (AND CHIMNEY CAPS ETC.) HEIGHTS PERMITTED ONLY AS REQUIRED BY U.B.C. OR MANUFACTURER SPECIFICATIONS PLUS ADDITIONAL 12" MAXIMUM FOR CAP / SPARK ARRESTOR.

FEMA ELEVATION CERTIFICATE MUST BE COMPLETED BY A LICENSED SURVEYOR AND SUBMITTED TO THE BUILDING INSPECTOR AFTER THE FIRST FLOOR IS POURED OR CONSTRUCTED.



1	1st. PLAN CHECK 04-14-2006
2	1st. PLAN CHECK 05-18-2006

R.A. JEHEBER
PLANNING / DESIGN CONSULTANT
410 32nd STREET, SUITE 202
NEWPORT BEACH, CALIFORNIA
(949) 723-4393 FAX: (949) 723-0719

100 SITE PLAN



A PROJECT FOR:
ZERT 34th STREET, LLC.
PROJECT ADDRESS:
3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA

DATE
5/17/2006 5:45 PM

PROJECT #
2005-15

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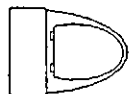
SHEET #
SP-1
9 of 30

PC# 318 MAY 18 2006


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SLOPE 2" →


INDICATES SLOPE OF SLAB AND DIRECTION



INDICATES FIRST FLOOR PLUMBING FIXTURES



INDICATES SECOND FLOOR PLUMBING FIXTURES



INDICATES DIRECTION AND HEIGHT OF STEP IN SLAB OR FLOOR

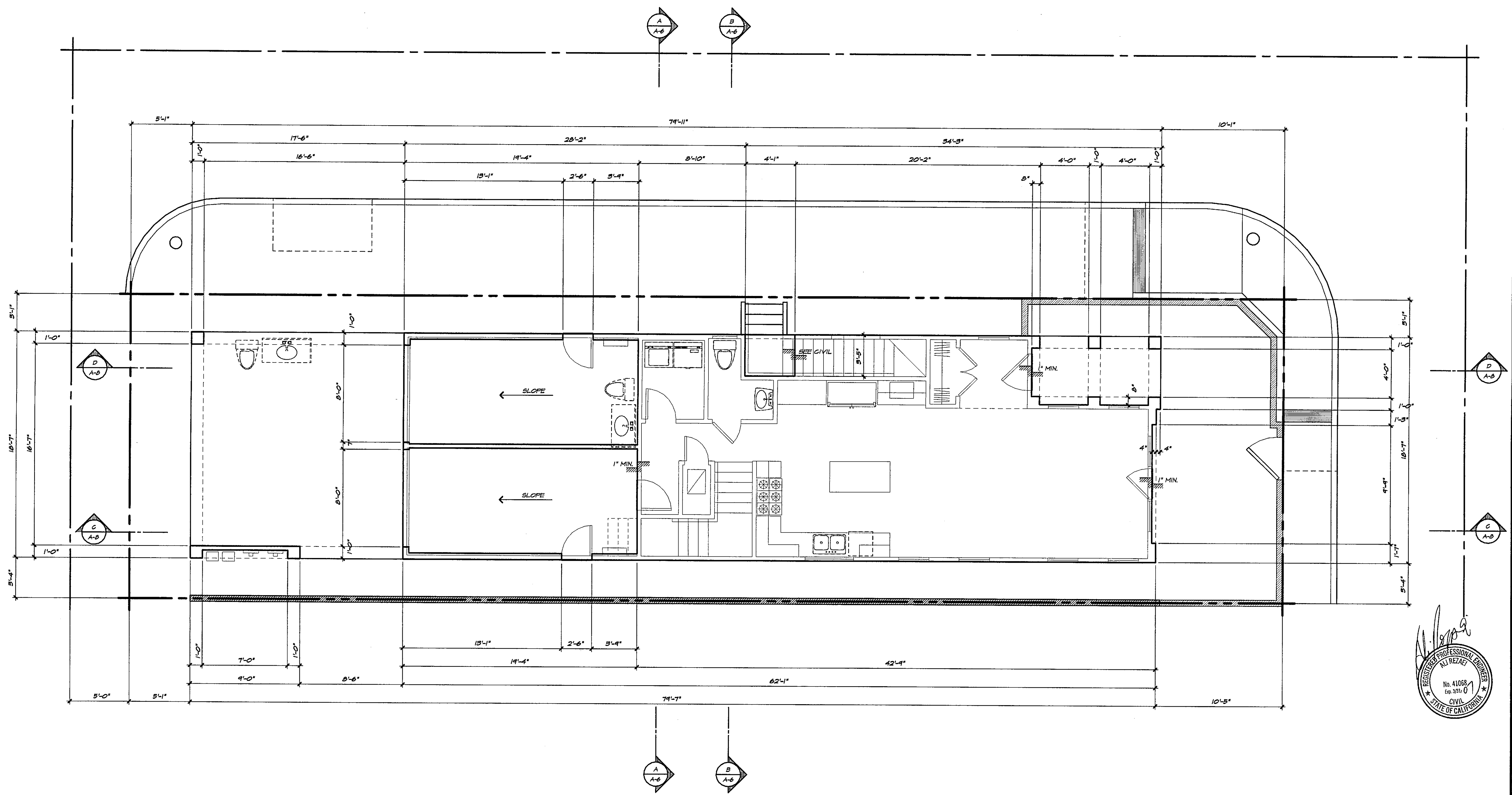
- SLAB PLAN NOTES
1. THIS DRAWING IS FOR DIMENSIONAL PURPOSES ONLY.

2. REFER TO STRUCTURAL DRAWINGS FOR HOLDDOWNS, FOOTING DETAILS AND INFORMATION NOT SHOWN ON DIMENSION SLAB PLAN.

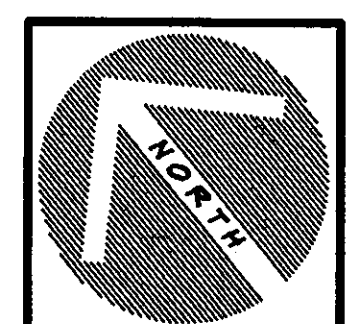
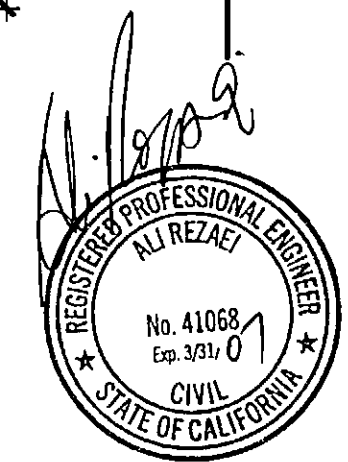
3. PLUMBING FIXTURES, CONDUITS THROUGH SLAB, VENT LOCATIONS ETC. ARE APPROXIMATE UNLESS DIMENSIONED. BUILDER TO VERIFY LOCATIONS.

4. SLOPE ALL PORCHES, PATIOS, STOOFS AND HARDSCAPE MATERIAL AWAY FROM THE BUILDING 1/4" PER FOOT MINIMUM.

5. ALL WOOD SILLS AND SLEEPERS IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.



DIMENSIONED SLAB PLAN



1st. PLAN CHECK
04-14-2006

1st. PLAN CHECK
05-18-2006

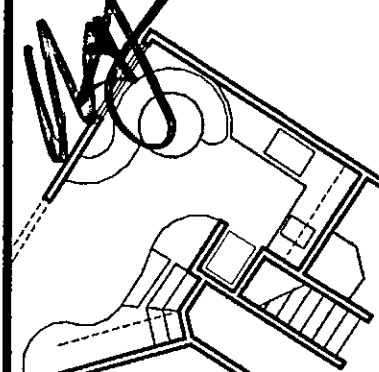
R.A. JEHEBER

PLANNING / DESIGN CONSULTANT

440 32nd STREET, SUITE 202

NEWPORT BEACH, CALIFORNIA

(949) 723-4393 FAX: (949) 723-0719



THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF R.A. JEHEBER. NO PART OF THIS DRAWING OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF R.A. JEHEBER. THE USER OF THIS DRAWING AGREES TO HOLD R.A. JEHEBER HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY R.A. JEHEBER OR HIS EMPLOYEES, AGENTS OR SUBCONTRACTORS, AS A RESULT OF THE USER'S USE OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED.

A PROJECT FOR:

ZFRT 34th STREET, LLC.

PROJECT ADDRESS:

3401 BALBOA BLVD.

NEWPORT BEACH, CALIFORNIA

DATE

5/11/2006 5:43 PM

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2005-15

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CITY OF NEWPORT BEACH BUILDING DEPARTMENT
APPROVAL OF THESE PLANS DOES NOT CONSTITUTE EXPRESS OR IMPLIED
AUTHORIZATION TO CONSTRUCT ANY BUILDING IN VIOLATION OF OR INCONSISTENT
WITH THE ORDINANCES, PLANS AND POLICIES OF THE CITY OF NEWPORT BEACH. THIS
APPROVAL DOES NOT GUARANTEE THAT THESE PLANS ARE IN ALL RESPECTS IN
COMPLIANCE WITH CITY BUILDING AND ZONING ORDINANCES, PLANS AND POLICIES.
THE CITY OF NEWPORT BEACH RESERVES THE RIGHT TO REQUIRE ANY PERMITTEE TO
REVISE THE BUILDING STRUCTURE OR IMPROVEMENT AUTHORIZED BY THESE PLANS
BEFORE, DURING OR AFTER CONSTRUCTION, IF NECESSARY TO COMPLY WITH THE
ORDINANCES, PLANS AND POLICIES OF THE CITY OF NEWPORT BEACH.

PERMITTEE'S ACKNOWLEDGMENT:
DEPARTMENT: PUBLIC WORKS (SIGNATURE) DATE: 11-29-06
BY: [Signature] APPROVAL TO ISSUE DATE: 11-29-06

SYMBOL LEGEND

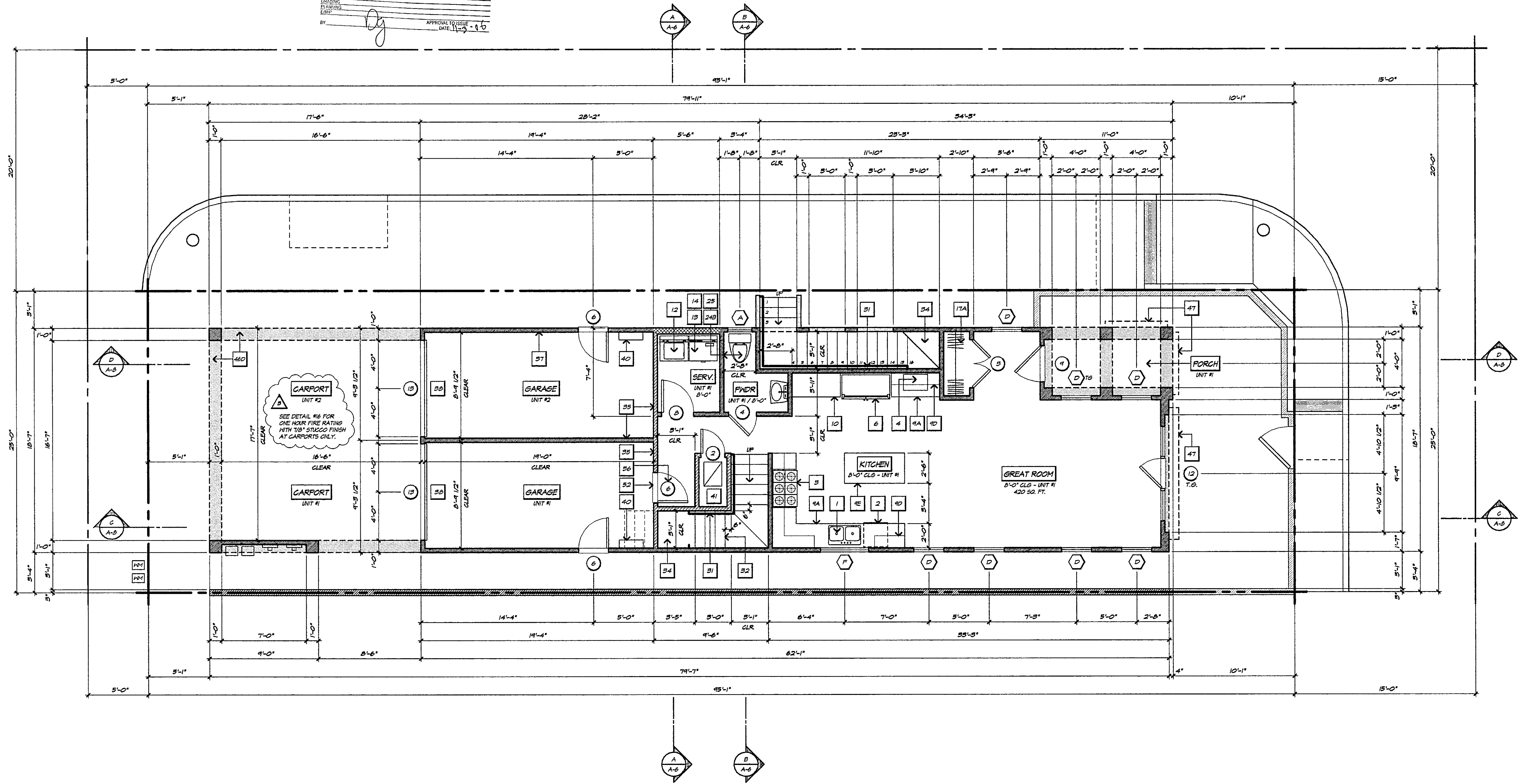
- 16 INDICATES A PLAN NOTE OR FEATURE CALL-OUT.
SEE PLAN NOTES ON SHEET A-4.
- 5 NEW DOOR SYMBOL. SEE SHEET A-4 FOR DOOR
SCHEDULE.
- 6 NEW WINDOW SYMBOL. SEE SHEET A-4 FOR WINDOW
SCHEDULE.
- NOTE:
ALL ITEMS SHALL BE FIELD VERIFIED WITH THE
OWNERS DURING THE BIDDING PHASE. OWNER TO
SELECT, CONTRACTOR TO INSTALL ALWAYS.

NEW WALL LEGEND

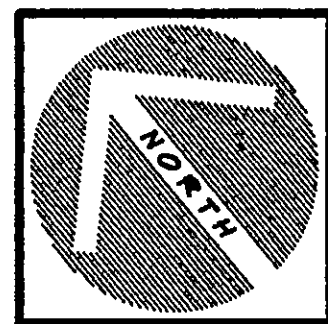
- NEW 2 X 4 OR 3 X 4 WOOD STUDS AT
16" O.C. WITH R-15 INSULATION AT ALL
EXTERIOR WALLS. REFER TO STRUCTURAL
PLANS FOR LOCATION OF 3 X 4 STUDS.
- NEW LOW WALL OR STAIR WALL USING
2 X 4 WOOD STUDS AT 16" O.C. UNLESS
NOTED OTHERWISE.
- NEW 2 X 6 WOOD STUDS AT 16" O.C.
WITH R-19 INSULATION AT ALL EXTERIOR
WALLS. (ALSO USE AS A PLUMBING WALL.)
- NEW 1-HOUR RATED / STC 50 PARTY WALL
SEE PLANS FOR LOCATIONS AND ALSO
DETAIL #2 / D-2.

PARTY WALL NOTES

- ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE
VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED
FROM BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES
MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL.
(EXCEPTION: GAS PIPING NEED NOT BE ISOLATED)
- METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED
IN SOUND ASSEMBLIES SHALL BE LINED. (EXCEPTION: DUCTS
SERVING ONLY EXIT WAYS, KITCHEN COOKING FACILITIES AND
BATHROOMS NEED NOT BE LINED)
- MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST
SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT WHENEVER A
PLUMBING PIPE, OR DUCT PENETRATES A FLOOR CEILING
ASSEMBLY OR WHERE SUCH A UNIT PASSES THROUGH A PLANE
OF THE FLOOR CEILING ASSEMBLY WITHIN A WALL.
- WALL MOUNTED LAVATORIES AND TOILETS ARE NOT PERMITTED
ON SOUND RATED PARTITIONS.



FIRST FLOOR PLAN



1st. PLAN CHECK
04-14-2006

1st. PLAN CHECK
05-18-2006

FIELD REVISION
11-03-2006

A. JEHEBER
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410 32nd STREET, SUITE 202
NEWPORT BEACH, CALIFORNIA
(949) 723-4393 FAX: (949) 723-0719

FIRST FLOOR PLAN

A PROJECT FOR:
ZFRT 34th STREET, LLC.
PROJECT ADDRESS:
3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA

DATE
11/2/2006 10:24 AM

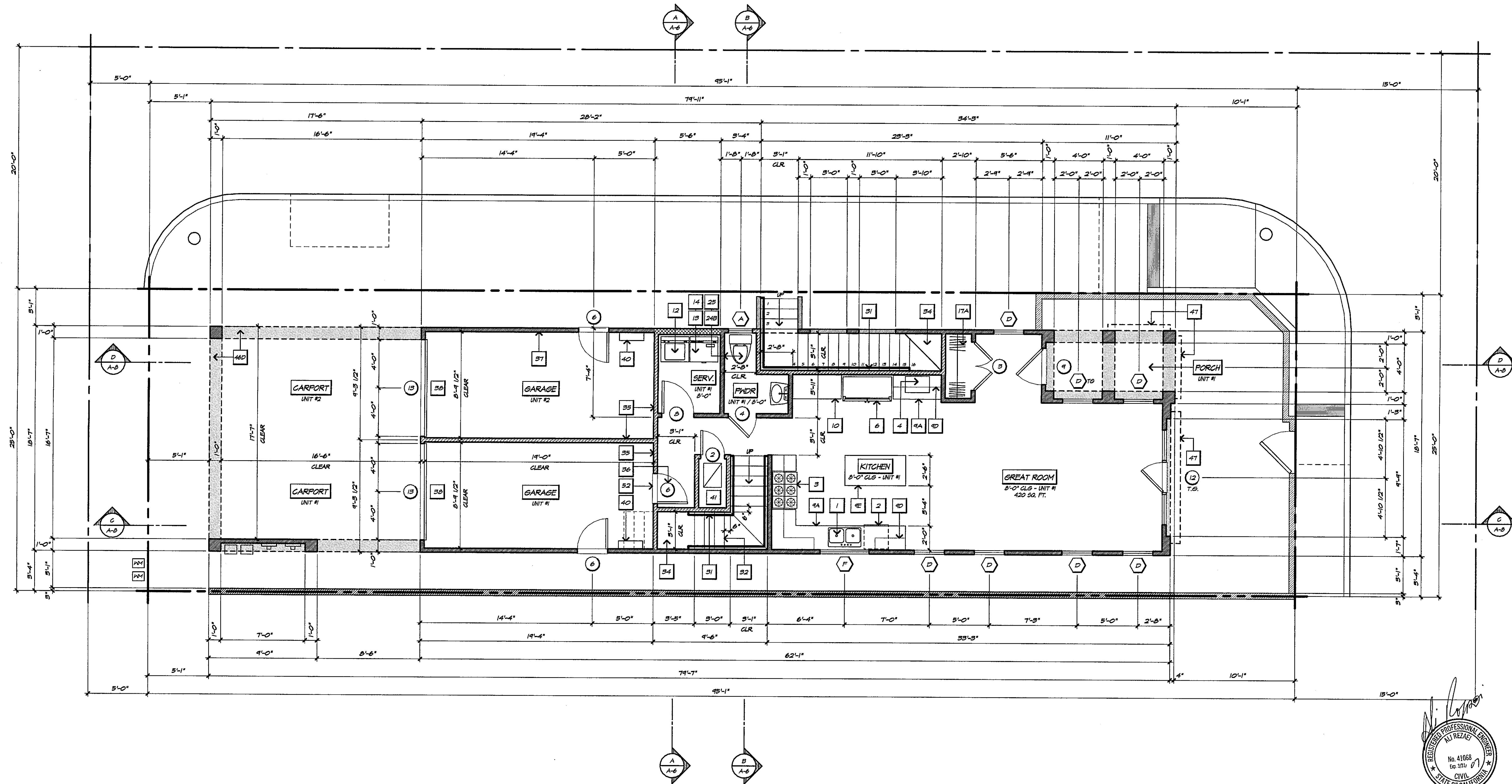
PROJECT #
2005-15

DRAWN BY:
[Signature]

SHEET #
A-1
11/2/06

PLF 3185-2005

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SYMBOL LEGEND

- 16 INDICATES A PLAN NOTE OR FIXTURE CALL-OUT. SEE PLAN NOTES ON SHEET A-4.
- 5 NEW DOOR SYMBOL. SEE SHEET A-4 FOR DOOR SCHEDULE.
- 6 NEW WINDOW SYMBOL. SEE SHEET A-4 FOR WINDOW SCHEDULE.
- NOTE:
ALL ITEMS SHALL BE FIELD VERIFIED WITH THE OWNERS DURING THE BIDDING PHASE. OWNER TO SELECT, CONTRACTOR TO INSTALL ALWAYS.

NEW WALL LEGEND

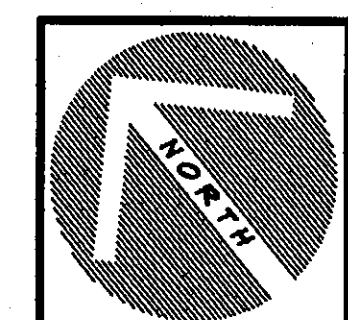
- NEW 2 X 4 OR 3 X 4 WOOD STUDS AT 16" O.C. WITH R-13 INSULATION AT ALL EXTERIOR WALLS. REFER TO STRUCTURAL PLANS FOR LOCATION OF 3 X STUDS.
- NEW LOW WALL OR STAIR WALL USING 2 X 4 WOOD STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.
- NEW 2 X 6 WOOD STUDS AT 16" O.C. WITH R-19 INSULATION AT ALL EXTERIOR WALLS. (ALSO USE AS A FLUMING WALL).
- NEW 1-HOUR RATED 1/2" STC 50 PARTY WALL SEE PLANS FOR LOCATIONS AND ALSO DETAIL #2 / D-2.

PARTY WALL NOTES

- ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND AFFLUENCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL. (EXCEPTION: GAS PIPING NEED NOT BE ISOLATED).
- METAL VENTILATING AND CONDITIONED AIR EXITS LOCATED IN SOUND ASSEMBLIES SHALL BE LINED. (EXCEPTION: DUCTS SERVING ONLY EXIT WAYS, KITCHEN COOKING FACILITIES AND BATHROOMS NEED NOT BE LINED).
- MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT WHENEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR CEILING ASSEMBLY OR WHERE SUCH A UNIT PASSES THROUGH A PLANE OF THE FLOOR CEILING ASSEMBLY WITHIN A WALL.
- WALL MOUNTED LAVATORIES AND TOILETS ARE NOT PERMITTED ON SOUND RATED PARTITIONS.

FIRST FLOOR PLAN

SEE ALSO THE CLOUDED REVISIONS
ON THE REVISED SHEET(S)



1st. PLAN CHECK
04-14-2006

2nd. PLAN CHECK
05-18-2006

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FIRST FLOOR PLAN

A PROJECT FOR:
ZFRT 34th STREET, LLC.
PROJECT ADDRESS:
3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA

DATE
5/17/2006 5:51 PM

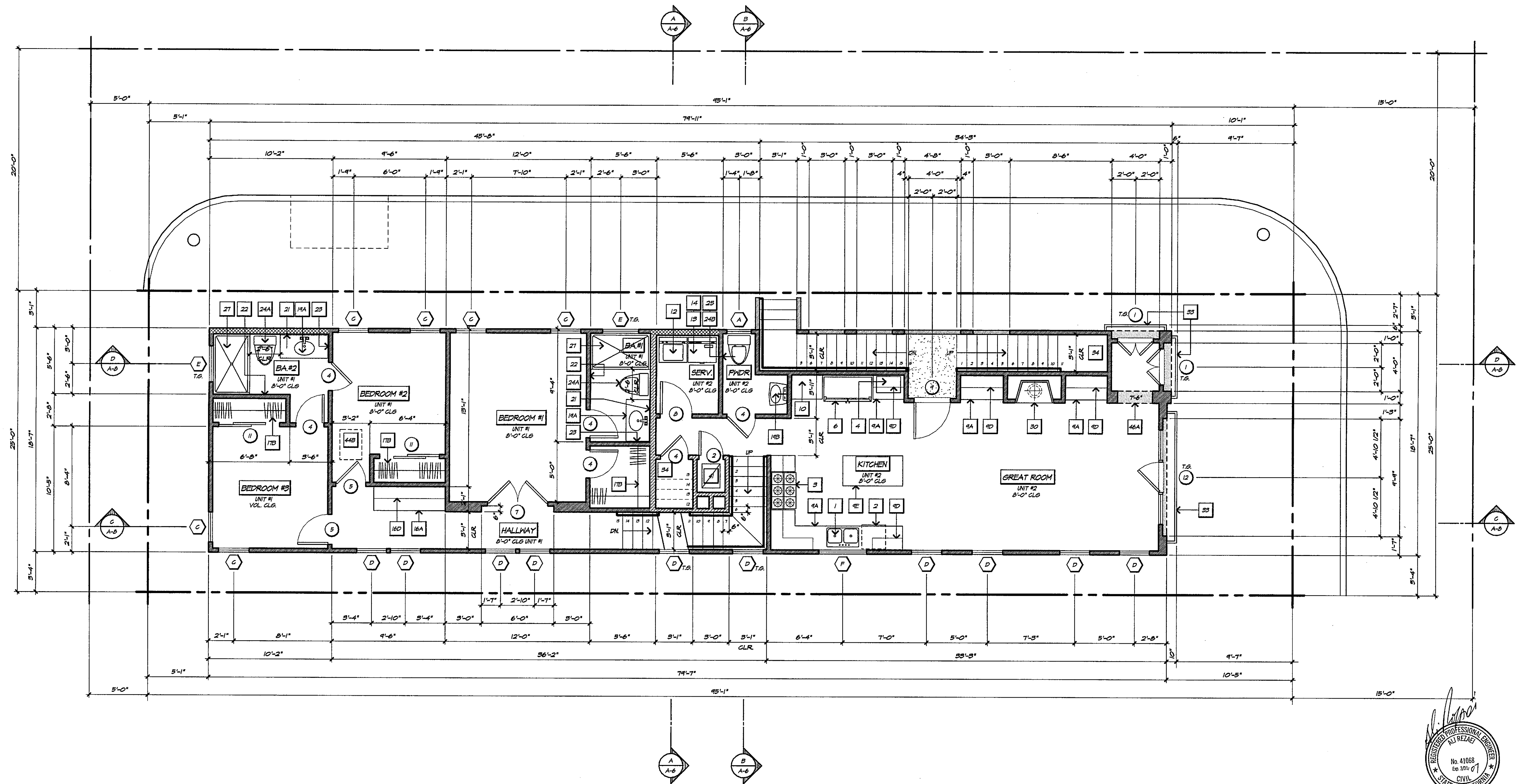
PROJECT #
2005-15

DRAWN BY:

SHEET #
A-1
12 of 26

PLAT 3185 MAY 18 2006

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SYMBOL LEGEND

16 INDICATES A PLAN NOTE OR FIXTURE CALL-OUT. SEE PLAN NOTES ON SHEET A-4.

5 NEW DOOR SYMBOL. SEE SHEET A-4 FOR DOOR SCHEDULE.

B NEW WINDOW SYMBOL. SEE SHEET A-4 FOR WINDOW SCHEDULE.

NOTE:
ALL ITEMS SHALL BE FIELD VERIFIED WITH THE OWNERS DURING THE BIDDING PHASE. OWNER TO SELECT, CONTRACTOR TO INSTALL ALWAYS.

NEW WALL LEGEND

NEW 2 X 4 OR 5 X 4 WOOD STUDS AT 16" O.C. WITH R-19 INSULATION AT ALL EXTERIOR WALLS. REFER TO STRUCTURAL PLANS FOR LOCATION OF 5 X 4 STUDS.

NEW LOW WALL OR STAIR WALL USING 2 X 4 WOOD STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.

NEW 2 X 6 WOOD STUDS AT 16" O.C. WITH R-19 INSULATION AT ALL EXTERIOR WALLS. (ALSO USE AS A PLUMBING WALL)

NEW 1-HOUR RATED / STC 50 PARTY WALL. SEE PLANS FOR LOCATIONS AND ALSO DETAIL #2 / D-2.

PARTY WALL NOTES

ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND AFFLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL. (EXCEPTION: GAS PIPING NEED NOT BE ISOLATED).

METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLIES SHALL BE LINED. (EXCEPTION: DUCTS SERVING ONLY EXIT WAYS, KITCHEN COOKING FACILITIES AND BATHROOMS NEED NOT BE LINED).

MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT WHENEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR CEILING ASSEMBLY OR WHERE SUCH A UNIT PASSES THROUGH A PLANE OF THE FLOOR CEILING ASSEMBLY WITHIN A WALL.

WALL MOUNTED LAVATORIES AND TOILETS ARE NOT PERMITTED ON SOUND RATED PARTITIONS.

1st. PLAN CHECK
04-14-2006

2nd. PLAN CHECK
05-18-2006

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SECOND FLOOR PLAN

A PROJECT FOR:
ZFRT 34th STREET, LLC.
PROJECT ADDRESS:
3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA

DATE
5/17/2006 5:51 PM

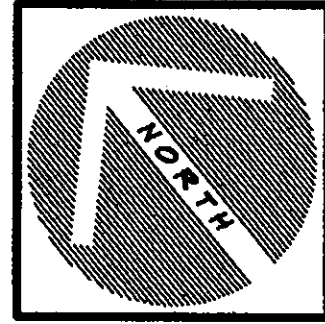
PROJECT #
2005-15

DRAWN BY:
SHEET #
A-2
13 of 310
MAY 18 2006

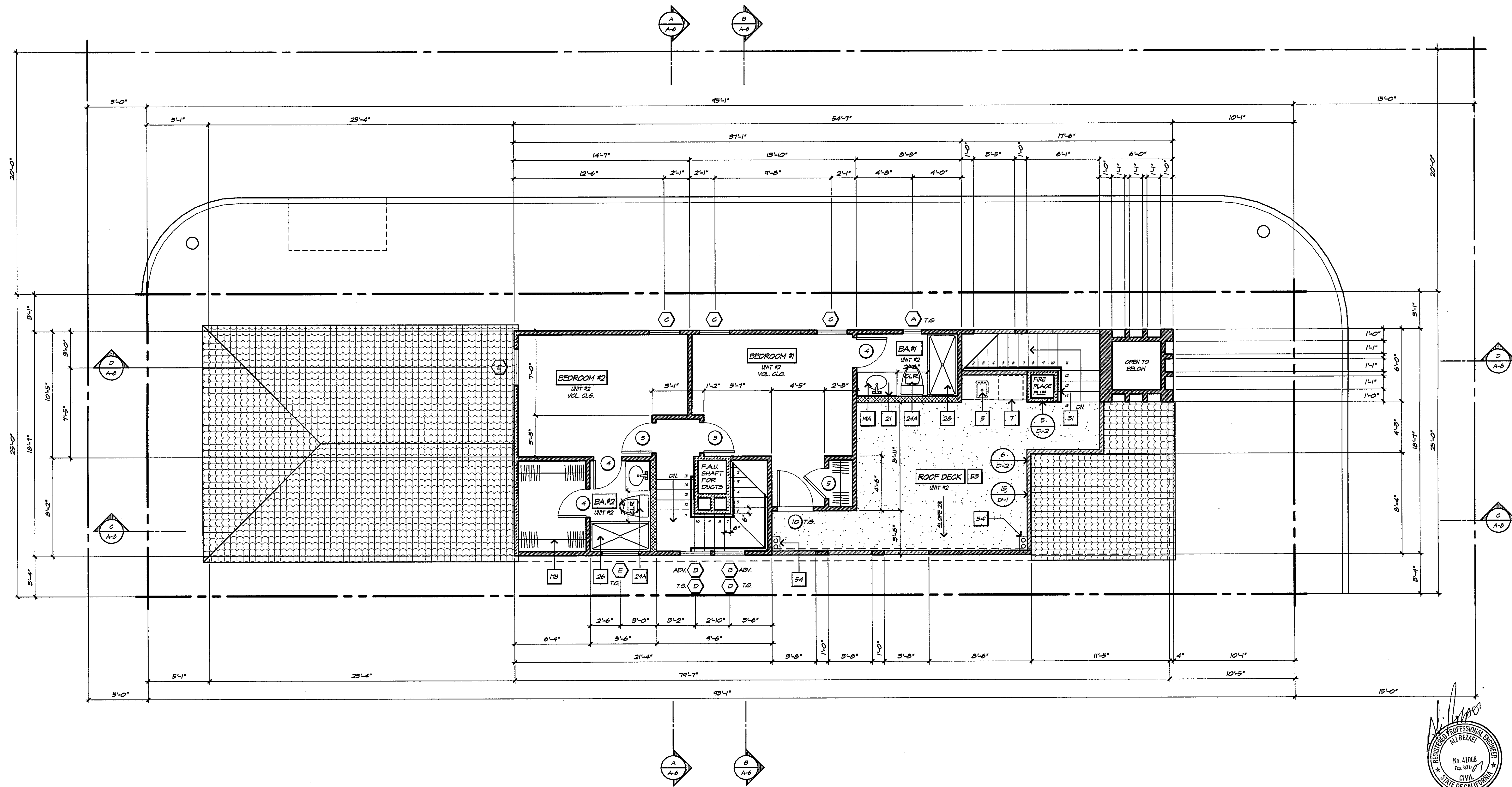
70# 3185-2853

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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SYMBOL LEGEND

- 16 INDICATES A PLAN NOTE OR FIXTURE CALL-OUT. SEE PLAN NOTES ON SHEET A-4.
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- B NEW WINDOW SYMBOL. SEE SHEET A-4 FOR WINDOW SCHEDULE.

NOTE:
ALL ITEMS SHALL BE FIELD VERIFIED WITH THE OWNERS DURING THE BIDDING PHASE. OWNER TO SELECT, CONTRACTOR TO INSTALL ALWAYS.

NEW WALL LEGEND

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- NEW LOW WALL OR STAIR WALL USING 2 X 4 WOOD STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.
- NEW 2 X 6 WOOD STUDS AT 16" O.C. WITH R-19 INSULATION AT ALL EXTERIOR WALLS. (ALSO USE AS A PLUMBING WALL.)
- NEW 1-HOUR RATED / STC 50 PARTY WALL. SEE PLANS FOR LOCATIONS AND ALSO DETAIL #2 / D-2.

PARTY WALL NOTES

ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL. (EXCEPTION: GAS PIPING NEED NOT BE ISOLATED.)

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1st. PLAN CHECK 04-14-2006
1st. PLAN CHECK 05-18-2006

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THIRD FLOOR PLAN

A PROJECT FOR:
ZFRT 34th STREET, LLC.
PROJECT ADDRESS:
3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA

DATE
5/17/2006 5:43 PM

PROJECT #
2005-15

DRAWN BY:
A-3

SHEET #
14 of 20

PC# 3185-2 MAY 18 2006

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PLAN NOTE LEGEND	
INDICATES PLAN NOTE LEGEND SYMBOL - SEE NUMBER BELOW	
KITCHENS:	GARAGES:
1. TWO COMPARTMENT PORCELAIN CAST IRON SINK WITH GARBAGE DISPOSAL BY "KOHLER" MODEL SELECTED BY OWNER - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS IN CHROME FAUCET, SELECTED BY OWNER EQUIPPED WITH AERATORS AND SHALL NOT EXCEED A WATER FLOW RATE OF 2.5 GAL PER MINUTE. (1995 CFC)	55. SEE DETAIL #2 ON SHEET D-2 FOR A ONE HOUR / STC 90 RATING BETWEEN A GARAGE AND LIVING SPACE.
2. DISHWASHER BY "KITCHEN AID" MODEL KUDS01FLSS - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.	56. TIGHT FITTING, SELF CLOSING, 20 MIN RATED DOOR AT GARAGE TO DWELLING
3. 36" SLIDE IN RANGE BY "KITCHEN AID" MODEL KDRP46TKSS WITH WALL MOUNT COMMERCIAL STYLE CANOPY HOOD BY "KITCHEN AID" MODEL KNCUS20JSS. VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.	57. 14" X 6" LOWER AND UPPER SCREENED GARAGE VENT. PLAN LOCATIONS ARE APPROXIMATE, LOCATE BETWEEN ACTUAL STUD FRAMING.
4. MICROWAVE OVEN BY "KITCHEN AID" MODEL KCMS18SJS5 VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS	58. PRE-MANUFACTURED GARAGE DOOR BY "SUMMIT" "COUNTRY" COLLECTION MODEL #3000GS OR EQUAL AS SELECTED BY OWNER
5. ENTERTAINMENT SINK BY "KOHLER" WITH GARBAGE DISPOSAL MODEL SELECTED BY OWNER. VERIFY DIMENSIONS WITH MANUF. SPECIFICATIONS	59. 4" DIA CONCRETE FILLED PIPE BUMPER
6. 42" WIDE SIDE BY SIDE BUILT-IN REFRIGERATOR BY "KITCHEN AID" MODEL KSSC420M - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS PROVIDE COLD WATER SUPPLY LINE FOR ICE-MAKER	WATER HEATERS and FORCED AIR UNITS:
7. UNDER COUNTER REFRIGERATOR BY "KITCHEN AID" MODEL KBCA06XPBS VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS	40. "TAKAGI" TANKLESS WATER HEATER MODEL NO. T-KSI OR EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS
8. UNDER COUNTER WINE CELLAR BY "KITCHEN AID" MODEL KUW424FPSS VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS	41. LOCATION OF FORCED AIR UNIT. SEE TITLE 24 FOR MORE INFORMATION
9. CABINETS: A. 36" HIGH - LOWER CABINET B. 34" HIGH - LOWER CABINET C. 32" HIGH - LOWER CABINET D. 42" HIGH - UPPER CABINET E. ISLAND - 36" HIGH LOWER CABINET W/ STONE COUNTER - MARBLE OR GRANITE AS SELECTED BY OWNER	42. LOCATION OF RETURN AIR GRILL - MECH CONTRACTOR TO FIELD VERIFY
10. PANTRY WITH ADJUSTABLE SHELVES	43. A/C CONDENSER - MECH CONTRACTOR TO FIELD VERIFY
11. DESK - 24" DEEP, 32" HIGH	44. ATTIC ACCESS WITH MINIMUM 30" CLEAR HEADROOM ABOVE. PROVIDE WEATHER STRIP AT ATTIC ACCESS PANEL TO PREVENT DRAFT. A. 30" X 30" (IF F.A.U. IS LOCATED IN ATTIC) B. 22" X 30" (STANDARD ACCESS)
LAUNDRY ROOMS:	ARCHITECTURAL FEATURES:
12. WASHER SPACE - PROVIDE PLUMBING CONNECTIONS (WASTE & WATER) RECESSED IN WALL.	45. INTERIOR SOFFITS / OPENINGS A. FLAT, HEIGHT PER PLAN B. 5'-0" - FINISH DRYWALL WITH ARCHED HEADER C. BARREL - SPRING AT 1'-0" TOP AT 8'-0" D. ARCHED SEE INTERIOR ELEVATIONS
13. DRYER SPACE - VENT TO OUTSIDE AIR	46. EXTERIOR SOFFITS / OPENINGS A. FLAT, HEIGHT PER PLAN B. 5'-0" - FINISH STUCCO WITH ARCHED HEADER C. BARREL - SPRING AT 1'-0" TOP AT 8'-0" D. ARCHED SEE EXTERIOR ELEVATIONS
14. DRYER VENT TO OUTSIDE AIR (MIN. 4" DIA) PROVIDE BACK DRAFT DAMPER DUCT LENGTH LIMITED TO 14' (UNC 504.3.3)	47. LINE OF FLOOR ABOVE.
15. LAUNDRY SINK AS SELECTED BY OWNER - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.	48. LINE OF FLOOR BELOW.
CLOSETS, CABINETS, STORAGE:	49. LINE OF CEILING CHANGE.
16. LINEN CABINET: A. 36" HIGH - LOWER CABINET B. 34" HIGH - LOWER CABINET C. 32" HIGH - LOWER CABINET D. 42" HIGH - UPPER CABINET	50. LINE OF BEAM ABOVE.
17. CLOSET SHELF & POLE A. SINGLE SHELF / SINGLE POLE B. DOUBLE SHELF / DOUBLE POLE	51. LINE OF ROOF STRUCTURE BELOW.
18. SHELVES EQUALLY SPACED	52. THRESHOLD - FLOOR MATERIAL CHANGE
CLOSET LIGHTING SHALL COMPLY WITH NEC 410-8 FOR MINIMUM CLEARANCE FROM STORAGE SPACE.	ROOF DECKS and BALCONIES:
BATHROOMS:	53. ROOF DECK AREA: SLOPE 2% MINIMUM FOR DRAINAGE TO DECK MOUNTED DRAINS WITH OVERFLOW. USE "DEX-O-TEX" WEATHER GUARD WATER PROOF DECKING (ICBO # 1558) AT ALL EXPOSED ROOF DECK AREAS. OWNER TO SELECT COLOR AND TEXTURE, THE GENERAL CONTRACTOR SHALL SELECT A CERTIFIED SUB-CONTRACTOR TO INSTALL.
19. LAVATORY SINK A. "KOHLER" MODEL MEMOIRS K2241-I COLOR WHITE OR AS SELECTED BY OWNER B. PEDESTAL AS SELECTED BY OWNER	54. LOCATION OF 4" DIA. DECK DRAINS WITH OVERFLOW DEVICE. SEE #1 / D-2
20. 22" DEEP BY 32" TALL VANITY AS SELECTED BY OWNER.	
21. WALL MOUNTED VANITY MIRROR AS SELECTED BY OWNER.	
22. TOWEL BAR - PROVIDE BLOCKING AT WALL.	
23. WALL MOUNTED MEDICINE CABINET AS SELECTED BY OWNER.	
24. LOW FLUSH TOILET - 1.5 GALLONS / FLUSH HSC (17421.9b) WATER CLOSET TO BE 30" MIN. WITH 24" CLEAR IN FRONT OF TOILET. SEE DETAIL #11 ON D-2. A. "TORO" MODEL MS864114 COLOR WHITE OR AS SELECTED BY OWNER. SEE DETAIL #13 ON SHEET D-2 FOR CLEARANCE REQUIREMENTS. B. "KOHLER" MODEL "MEMOIRS" K9493 COLOR WHITE OR AS SELECTED BY OWNER. SEE DETAIL #13 ON SHEET D-2 FOR CLEARANCE REQUIREMENTS.	
25. TOILET PAPER HOLDER - PROVIDE BLOCKING AT WALL.	
26. 32" X 60" FIBERGLASS TUB / SHOWER COMBINATION. PROVIDE CERAMIC TILE MAINSCOT TO 12" ABOVE DRAIN (MIN) AND SHATTER RESISTANT ENCLOSURE. PROVIDE ANTI SCALDING TUB AND SHOWER VALVES PER U.B.C.	
27. 36" X 60" CERAMIC TILE SHOWER PAN AND CURB WITH CERAMIC TILE WALLS TO 80" ABOVE FLOOR (MID SET TILE OVER WATER RESISTANT GYP. BOARD) PROVIDE CLEAR TEMPERED GLASS ENCLOSURE AND DOOR (DOOR SHALL HAVE INTEGRAL TOWEL BAR) SHOWER HEADS SHALL BE DESIGNED AND MANUF. SO THAT THEY WILL NOT EXCEED A WATER SUPPLY RATE OF 2.5 GALLONS PER MINUTE. (1995 C.F.C.)	
28. SHAMPOO NICHE	
29. 18" HIGH TILED SHOWER SEAT	
THE MAXIMUM FLOW RATE STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION ARE AS FOLLOWS: WATER CLOSETS: 16 GALLONS PER FLUSH SHOWER HEADS: 2.5 GALLONS PER MINUTE LAVATORY FAUCETS: 2.2 GALLONS PER MINUTE LAUNDRY SINK FAUCETS: 2.2 GALLONS PER MINUTE 12" X 12" ACCESS PANEL IS REQUIRED FOR TUB TRAP SLIP-JOINT OR USE A NON-SLIP (WELDED) JOINT.	
FIREPLACES:	
30. 42" PREFAB METAL FIREPLACE BY "MAJESTIC FIREPLACES" OR EQUAL. MODEL SR-42 (ER-567T). PROVIDE A MINIMUM 16" DEEP NON-COMBUSTIBLE HEARTH, AND NON-COMBUSTIBLE SURROUNDS PER USC 2102.7.6 FUEL GAS, LOOSE KEY, LOG LIGHTER AND GLASS DOORS PROVIDE MIN. 2" CLEAR TO FRAMING AROUND FIREBOX AND CHIMNEY. PROVIDE SPARK ARRESTOR AT TERMINATION CAP. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL # 1 / D-2 FOR CLEARANCE REQUIREMENTS.	
STAIRS:	
31. STAIR HAND RAIL, WALL MOUNTED 36" ABOVE NOSE OF TREAD - SEE DETAIL #12 ON SHEET D-1	
32. STAIR TREADS AND RISERS, MAXIMUM 8" RISE - MINIMUM 4" RUN, 36" CLEAR WIDTH. SEE DETAILS #17 & #18 ON D-1. FOR 6'-8" VERTICAL HEADROOM - SEE SECTIONS	
33. 36" HIGH FALSE BALCONY GUARDRAIL - SEE DETAILS #10 & #11 ON D-2	
34. SEE DETAIL #3 ON SHEET D-2 FOR WALLS AND CEILING OF USABLE SPACE UNDER STAIRS FOR ONE HOUR / STC 90 RATING	

DOOR SCHEDULE							
	SIZE	THICK	TYPE	GLAZING	MANUFACTURER	REMARKS	QTY.
1	FR 1'-6" X 6'-8"	1 3/8"	FRENCH DOORS	TEMPERED	OWNER TO SELECT	ALL GLAZING MUST BE TEMPERED GLASS AND MUST BE ETCH MARKED INDICATING SO.	2
2	2'-0" X 6'-8"	1 3/8"	HOLLOW CORE WOOD RAISED PANEL DOOR	NONE			2
3	FR 2'-0" X 6'-8"	1 3/8"	HOLLOW CORE WOOD RAISED PANEL DOOR	NONE			1
4	2'-4" X 6'-8"	1 3/8"	HOLLOW CORE WOOD RAISED PANEL DOOR	NONE			10
5	2'-6" X 6'-8"	1 3/8"	HOLLOW CORE WOOD RAISED PANEL DOOR	NONE			5
6	2'-6" X 6'-8"	1 3/8"	SOLID CORE WOOD RAISED PANEL DOOR	NONE		20-MIN RATED, TIGHT FITTING, SELF CLOSING	5
7	FR 2'-6" X 6'-8"	1 3/8"	HOLLOW CORE WOOD RAISED PANEL DOOR	NONE			1
8	2'-8" X 6'-8"	1 3/8"	WOOD LOUVRE RAISED PANEL DOOR	NONE			2
9	3'-0" X 6'-8"	1 3/8"	ENTRY DOOR	NONE			2
10	3'-0" X 6'-8"	1 3/8"	FRENCH DOOR	TEMPERED		ALL GLAZING MUST BE TEMPERED GLASS AND MUST BE ETCH MARKED INDICATING SO.	1
11	5'-0" X 6'-8"	1 3/8"	WARDROBE DOOR	NONE			2
12	(1) 2'-6" X 6'-8" W (2) 2'-6" X 6'-8" FIX	1 3/4"	FRENCH DOOR	TEMPERED		ALL GLAZING MUST BE TEMPERED GLASS AND MUST BE ETCH MARKED INDICATING SO.	2
13	8'-0" X 7'-0"	VARIES	ROLL-UP GARAGE DOOR	NONE			2
TOTAL:							35

WINDOW SCHEDULE							
	SIZE	FRAME	TYPE	GLAZING	MANUFACTURER	REMARKS	QTY.
A	2'-0" X 3'-6"	VINYL	SINGLE HUNG	DUAL	"MILGARD" VINYL WINDOWS		5
B	2'-6" X 2'-6"	VINYL	FIXED	DUAL			2
C	2'-6" X 4'-0"	VINYL	CASEMENT	DUAL		THIS IS AN EGRESS WINDOW AND WHEN OPENED TO A 90 DEGREE ANGLE, THERE SHALL BE A MIN. OF 20" CLEAR WIDTH	4
D	2'-6" X 4'-6"	VINYL	SINGLE HUNG	DUAL			14
E	3'-0" X 1'-6"	VINYL	AWNING	DUAL			4
F	4'-0" X 3'-6"	VINYL	SLIDER	DUAL			2
TOTAL:							39

NOTE: REFER TO FLOOR PLANS FOR TEMPERED GLASS (TS) LOCATIONS
ALL TEMPERED GLAZING MUST BE ETCH MARKED INDICATION SO.

ALL WINDOWS TO BE GLAZED EXTERIOR / SEALED WOOD INTERIORS BY "MILGARD" OR EQUAL. NOTE SIZES ON PLANS ARE IN FEET AND INCHES NOT PER CATALOG

FINISH SCHEDULE								
ROOM NAME	FLOORING	BASE	WALLS		CEILINGS			REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH	HGT.	
ENTRY UNIT 1	STONE / TILE	WOOD	DRYWALL	1	DRYWALL	1	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
LIVING UNIT 1	STONE / TILE	WOOD	DRYWALL	1	DRYWALL	1	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
DINING UNIT 1	STONE / TILE	WOOD	DRYWALL	1	DRYWALL	1	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
KITCHEN UNIT 1	STONE / TILE	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
PONDER UNIT 1	STONE / TILE	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
SERVICE UNIT 1	STONE / TILE	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
GARAGE UNIT 1	CONCRETE	----	DRYWALL	6	DRYWALL	6	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
CARPORT UNIT 1	CONCRETE	----	1/8" STUCCO	----	1/8" STUCCO	----	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
GARAGE UNIT 2	CONCRETE	----	DRYWALL	6	DRYWALL	6	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
CARPORT UNIT 2	CONCRETE	----	1/8" STUCCO	----	1/8" STUCCO	----	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
LIVING UNIT 2	CARPET	WOOD	DRYWALL	1	DRYWALL	1	8'-0"	
DINING UNIT 2	CARPET	WOOD	DRYWALL	1	DRYWALL	1	8'-0"	
KITCHEN UNIT 2	STONE / TILE	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	
PONDER UNIT 2	STONE / TILE	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	
SERVICE UNIT 2	STONE / TILE	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	
BATH 1 UNIT 1	TILE	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
HALLWAY UNIT 1	CARPET	WOOD	DRYWALL	1	DRYWALL	1	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
BEDROOM 1 UNIT 1	CARPET	WOOD	DRYWALL	1	DRYWALL	1	8'-0"	SEE DETAIL #1 ON D-2 FOR A 1-HOUR / STC 90 SEPARATION RATING.
BEDROOM 2 UNIT 1	CARPET	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	
BEDROOM 3 UNIT 1	CARPET	WOOD	DRYWALL	1	DRYWALL	1	8'-0"	
BATH 2 UNIT 1	TILE	WOOD	DRYWALL	2	DRYWALL	2	8'-0"	
BEDROOM 1 UNIT 2	CARPET	WOOD	DRYWALL	1	DRYWALL	1	VARIES	
BATH 1 UNIT 2	TILE	WOOD	DRYWALL	2	DRYWALL	2	VARIES	
BEDROOM 2 UNIT 2	CARPET	WOOD	DRYWALL	1	DRYWALL	1	VARIES	
BATH 2 UNIT 2	TILE	WOOD	DRYWALL	2	DRYWALL	2	VARIES	
ROOF DECK UNIT 2	DEX-O-TEX	----	1/8" STUCCO	----	----	----	----	
FINISH NOTES: 1. 2 COATS FLAT VINYL 2. 2 COATS SEMI-GLOSS ENAMEL 3. SPRAYED ACOUSTIC TEXTURE 4. NATURAL FINISH 5. STAIN 6. TAPED JOINTS AND 1 COAT FLAT VINYL								

1st PLAN CHECK
04-14-2006

1st PLAN CHECK
05-18-2006

R.A. JEHEBER

PLANNING / DESIGN CONSULTANT

410 32nd STREET, SUITE 202

NEWPORT BEACH, CALIFORNIA

(949) 723-4393 FAX: (949) 723-0719

DOOR, WINDOW & FINISH SCHEDULES, PLAN NOTE LEGEND & PLAN NOTES

A PROJECT FOR:
ZFRT 34th STREET, LLC.

PROJECT ADDRESS:
3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA

DATE
5/17/2006 5:43 PM

PROJECT #
2005-15

DRAWN BY:
15

SHEET #
A-4
15 of 36

REGISTERED PROFESSIONAL ENGINEER
No. 41088
Exp. 10/1/07
STATE OF CALIFORNIA
CIVIL

15 MAY 18 2006

ATTIC VENTILATION

AREA 1 ATTIC AREA: NO ATTIC - VOLUME CEILING	-0- SQ. FT.	AREA 3 ATTIC AREA: VENT RATIO: REQUIRED VENTILATION: HIGH VENTILATION (50% OF REQUIRED) LOW VENTILATION (50% OF REQUIRED)	152 SQ. FT. 1/300 74 SQ. IN. 37 SQ. IN. 37 SQ. IN.
AREA 2 ATTIC AREA: VENT RATIO: REQUIRED VENTILATION: HIGH VENTILATION (50% OF REQUIRED) LOW VENTILATION (50% OF REQUIRED)	471 SQ. FT. 1/300 226 SQ. IN. 113 SQ. IN. 113 SQ. IN.	SIMPSON DORMER VENT: HIGH VENTILATION PROVIDED: LOW VENTILATION PROVIDED:	120 SQ. IN. EACH 1 VENT 1 VENT
SIMPSON DORMER VENT:	120 SQ. IN. EACH	TOTAL PROPOSED VENTILATION:	240 SQ. IN.
HIGH VENTILATION PROVIDED: LOW VENTILATION PROVIDED:	1 VENT 1 VENT	MINIMUM VENT AREA IS 1/150 OF ATTIC AREA (OR 1/300 OF ATTIC AREA IF AT LEAST 50% OF THE REQUIRED VENT IS AT LEAST 3 FEET ABOVE EAVE VENTS OR CORNICE VENTS) PER SECTION 1505.3	
TOTAL PROPOSED VENTILATION:	240 SQ. IN.		

ROOF PLAN SYMBOLS

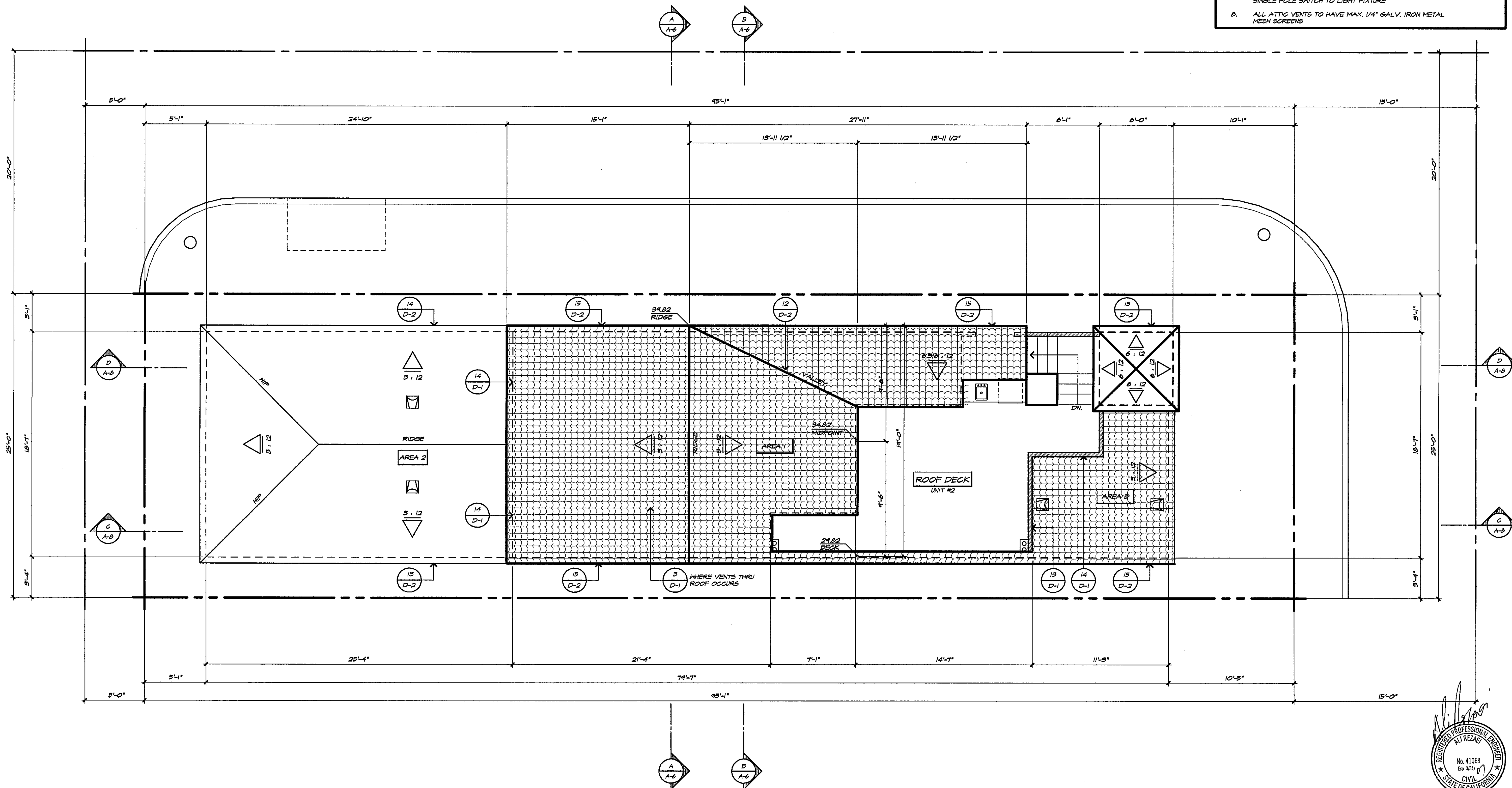
3 : 12	INDICATES SLOPE AND DIRECTION OF ROOF
[Symbol]	INDICATES ATTIC VENT - SEE DETAIL B / D-2
---	INDICATES LINE OF WALL BELOW
AREA 1	INDICATES ATTIC AREA

ROOF PLAN NOTES

- SLOPED ROOFING:
ROOF MATERIAL (CLASS A) TWO-PIECE MISSION (CLAY) TILE BY U.S. TILE I.C.B.O. # 3523 OR APPROVED EQUAL OVER 2 LAYERS 30# FELT. INSTALL PER MANUFACTURER'S SPECIFICATIONS A COPY OF THE UL REPORT FOR ROOF COVERING WILL BE REQUIRED AND WILL BE PRESENTED AT TIME OF INSPECTION.
- 5" HALF ROUND COPPER GUTTERS AND DOWNSPOUTS - GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN. SIZE OF THE GUTTER DETERMINED PER SPECIFICATION OF THE UBC SECT. 1506 AND THE U.P.C. APPENDIX D' TABLE D-3
- PROVIDE MINIMUM 26 GA. GALV. METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONDITIONS
- THE ROOF SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE ROOF COVERING
- AT ALL CALIFORNIA FRAMED LOCATIONS PROVIDE MIN. 22" X 30" OPENING FOR ACCESS AND FLOW THROUGH VENTILATION TO ADJACENT ATTIC SPACE
- SEE ATTIC VENTILATION FOR COMPLIANCE INFORMATION.
- PROVIDE MIN 30" HEAD CLEARANCE AT ATTIC ACCESS WITH SINGLE POLE SWITCH TO LIGHT FIXTURE
- ALL ATTIC VENTS TO HAVE MAX. 1/4" GALV. IRON METAL MESH SCREENS

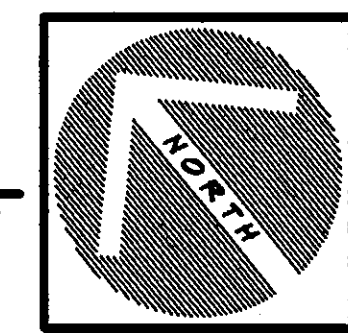
1st PLAN CHECK
04-14-2006
1st PLAN CHECK
03-16-2006

R. A. JEHEBER
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410 32nd STREET, SUITE 202
NEWPORT BEACH, CALIFORNIA
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ROOF PLAN

SCALE: 1/4" = 1'-0"

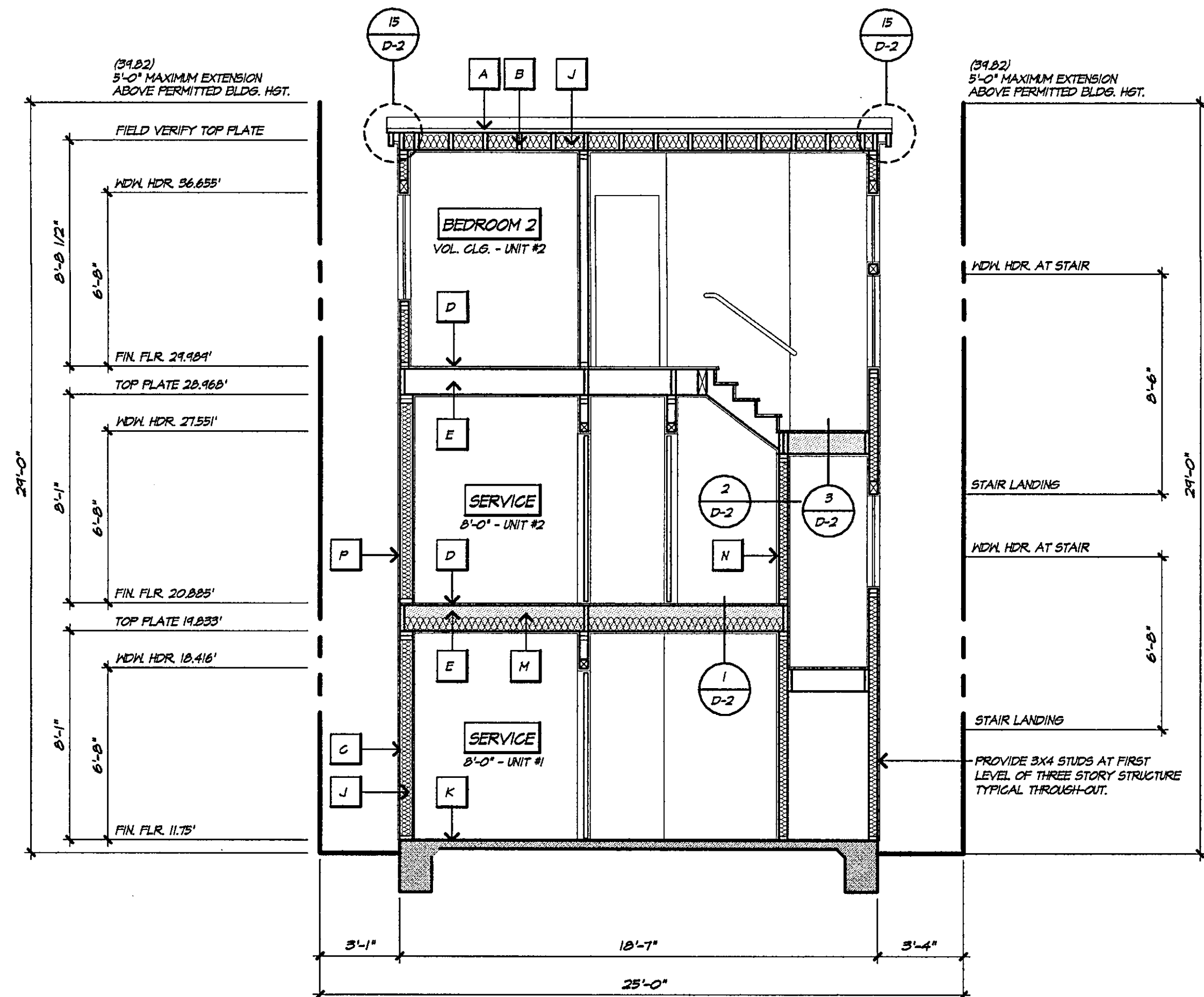


A PROJECT FOR:
ZFRT 34th STREET, LLC.
PROJECT ADDRESS:
3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA

DATE
5/11/2006 5:43 PM
PROJECT #
2005-15
DRAWN BY:

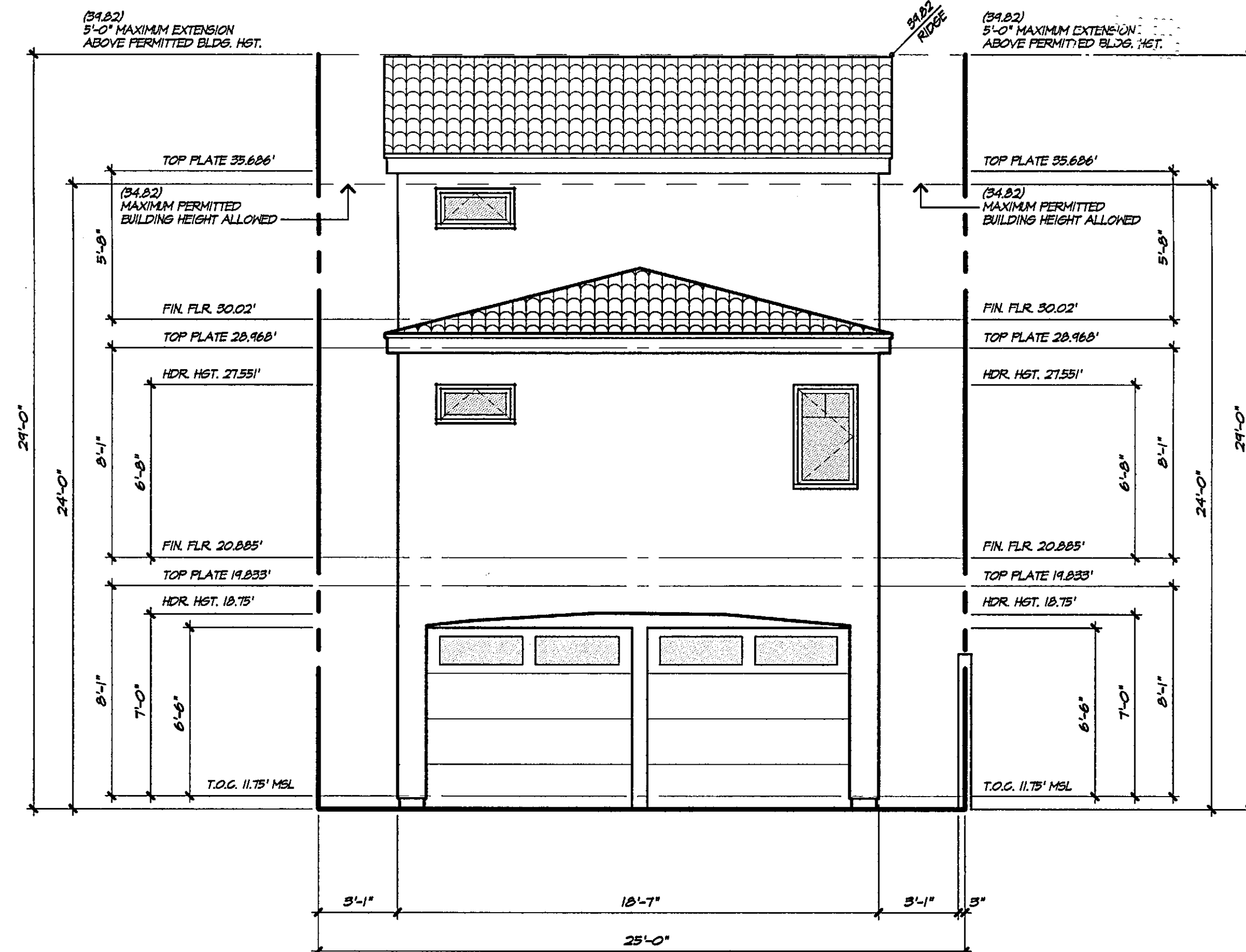
SHEET #
A-5
16 of 210

MAY 18 2006

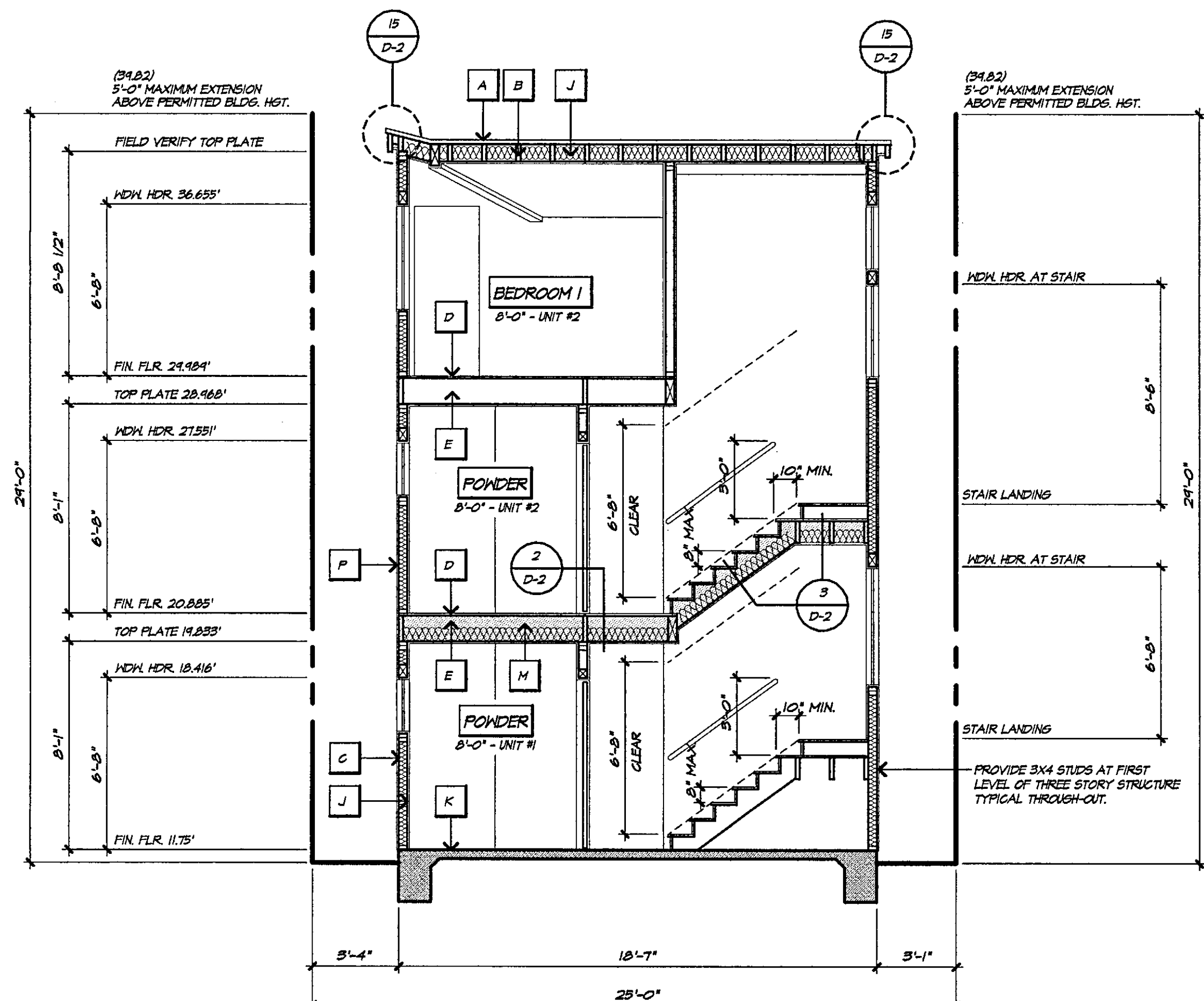


BUILDING SECTION 'A'
SCALE: 1/4" = 1'-0"

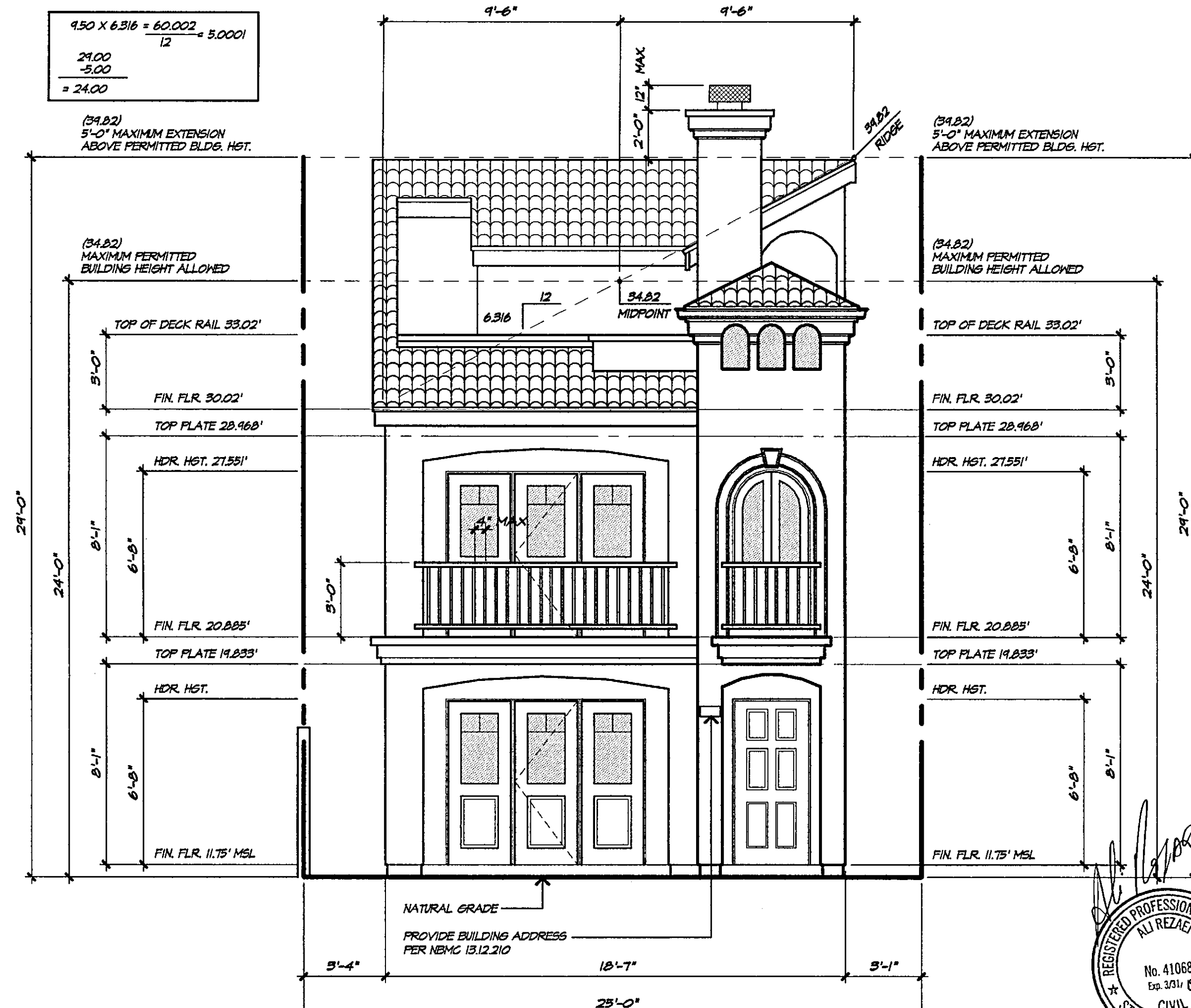
- SECTION NOTES**
- ROOF SHEATHING PER STRUCTURAL DRAWINGS
 - ROOF FRAMING PER STRUCTURAL DRAWINGS
 - 2X4 OR 3X4 STUD WALL - SEE FRAMING PLANS
 - FLOOR SHEATHING PER STRUCTURAL DRAWINGS
 - FLOOR FRAMING PER STRUCTURAL DRAWINGS
 - 5/8" GYPSUM BOARD (TYPICAL UNLESS NOTED OTHERWISE)
 - 1-HOUR / STC 50 RATING AT WALLS AND CEILING AT USABLE SPACE UNDER STAIRS - SEE DETAIL # 3 / D-2
 - 1-HOUR / STC 50 RATING AT ALL WALLS, CEILING AND FRAMING MEMBERS OF GARAGE - SEE DETAIL # 1 / D-2
 - INSULATION PER TITLE 24 CALCULATIONS SEE SHEET T-24
 - CONCRETE SLAB AND FOUNDATION PER STRUCTURAL DRAWINGS
 - PROVIDE FIRE STOPS VERTICAL AND HORIZONTAL IN ENCLOSED SPACES AT 10'-0" INTERVALS MAXIMUM PER U.B.C. SEC. 709
 - 1-HOUR RATED FLOOR / CEILING ASSEMBLY WITH MINIMUM STC-50 RATING - SEE DETAIL # 1 / D-2
 - 1-HOUR RATED WALL ASSEMBLY WITH MINIMUM STC-50 RATING - SEE DETAIL # 2 / D-2
 - EXTERIOR LATH AND PLASTER PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING C.B.C. 2306.4
 - DEK-O-TEX® WEATHER GUARD WATER PROOF DECKING ICBO# 1838



REAR ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING SECTION 'B'
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1st. PLAN CHECK
04-14-2006

2nd. PLAN CHECK
05-18-2006

PROJECT FOR:
ZFRT 34th STREET, LLC.

PROJECT ADDRESS:
**3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA**

R.A. JEHEBER
PLANNING / DESIGN CONSULTANT
410 32nd STREET, SUITE 202
NEWPORT BEACH, CALIFORNIA
(949) 723-4393 FAX: (949) 723-0719

**FRONT and REAR
EXTERIOR ELEVATIONS
BUILDING SECTIONS
"A" and "B"**

DATE
5/11/2006 5:43 PM

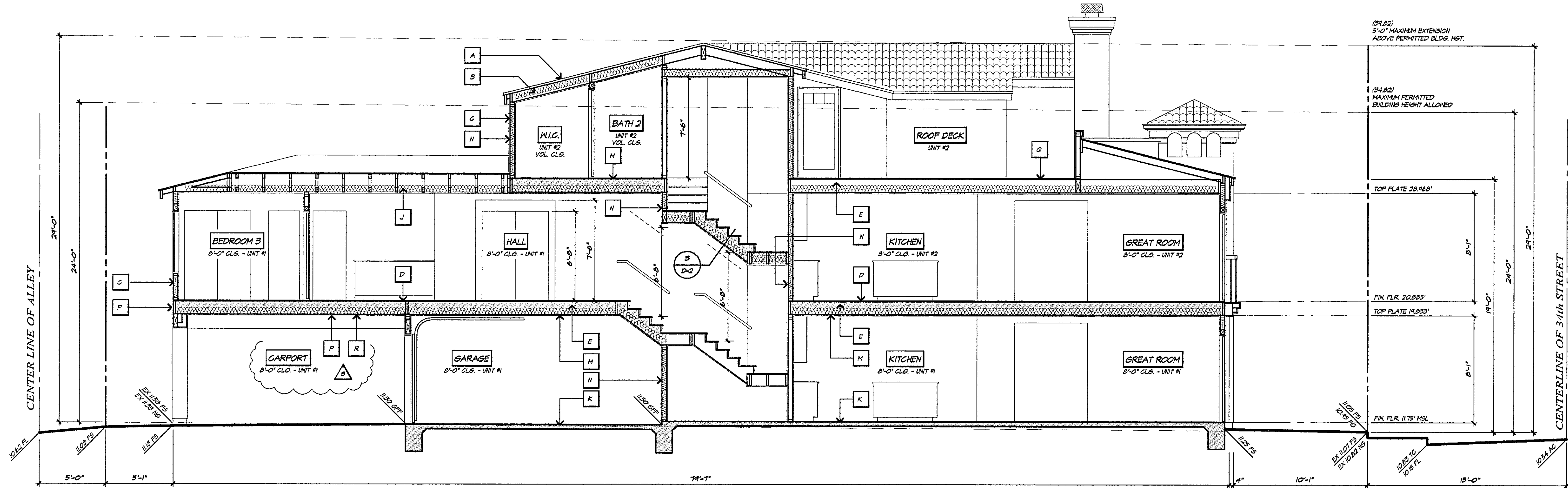
PROJECT #
2005-15

DRAWN BY:

REGISTERED PROFESSIONAL ENGINEER
No. 41068
Exp. 10/1/07
CIVIL
STATE OF CALIFORNIA

SHEET #
A-6
1 of 30

PC#385-20 MAY 18 2006



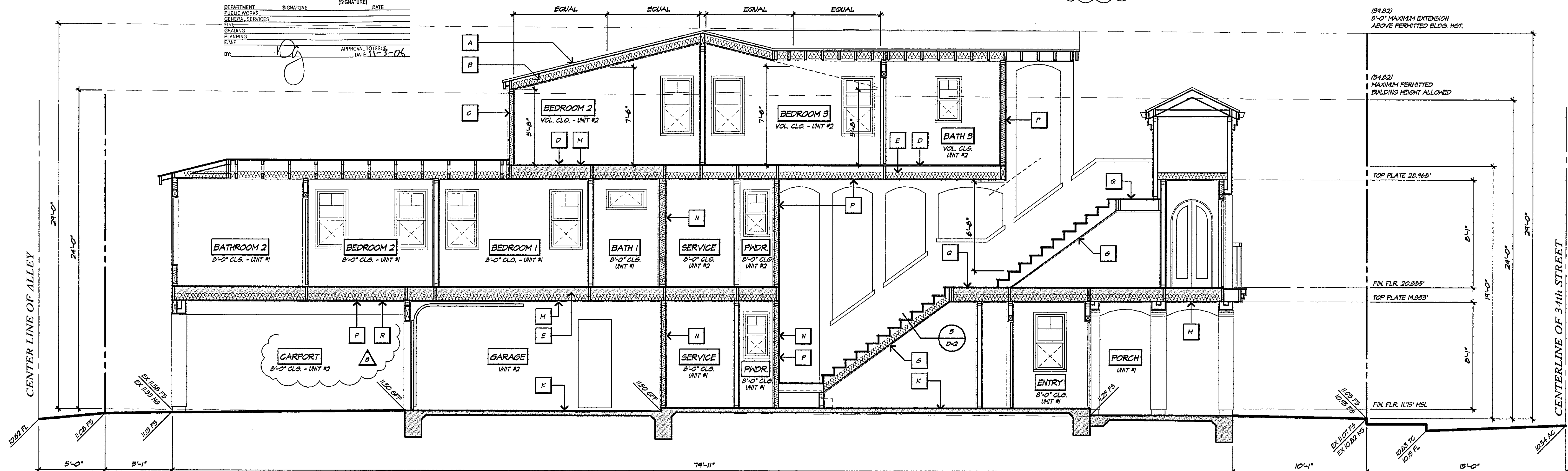
BUILDING SECTION "C"

SCALE: 1/4" = 1'-0"

SECTION NOTES		
A. ROOF SHEATHING PER STRUCTURAL DRAWINGS	G. 1-HOUR / STC 50 RATING AT WALLS AND CEILING AT USEABLE SPACE UNDER STAIRS - SEE DETAIL # 3 / D-2	M. 1-HOUR RATED FLOOR / CEILING ASSEMBLY WITH MINIMUM STC-50 RATING - SEE DETAIL # 1 / D-2
B. ROOF FRAMING PER STRUCTURAL DRAWINGS	H. 1-HOUR / STC 50 RATING AT ALL WALLS, CEILING AND FRAMING MEMBERS OF GARAGE - SEE DETAIL # 1 / D-2	N. 1-HOUR RATED WALL ASSEMBLY WITH MINIMUM STC-50 RATING - SEE DETAIL # 2 / D-2
C. 2X4 OR 3X4 STUD WALL - SEE FRAMING PLANS	J. INSULATION PER TITLE 24 CALCULATIONS SEE SHEET T-24	P. EXTERIOR LATH AND PLASTER PROVIDE TWO LAYERS OF GRADE 1" PAPER OVER ALL WOOD BASE SHEATHING C.B.G. 2506.4
D. FLOOR SHEATHING PER STRUCTURAL DRAWINGS	K. CONCRETE SLAB AND FOUNDATION PER STRUCTURAL DRAWINGS	Q. "DEX-O-TEX" WEATHER GUARD WATER PROOF DECKING 1500M 1550
E. FLOOR FRAMING PER STRUCTURAL DRAWINGS	L. PROVIDE FIRE STOPS VERTICAL AND HORIZONTAL IN ENCLOSED SPACES AT 12'-0" INTERVALS MAXIMUM PER U.B.C. SEC. 709	R. 1-HOUR RATED FLOOR / CEILING ASSEMBLY SEE DETAIL # 16 / D-1
F. 5/8" GYPSUM BOARD (TYPICAL UNLESS NOTED OTHERWISE)		

CITY OF NEWPORT BEACH BUILDING DEPARTMENT
APPROVAL OF THESE PLANS DOES NOT CONSTITUTE EXPRESS OR IMPLIED AUTHORIZATION TO CONSTRUCT ANY BUILDING IN VIOLATION OF OR INCONSISTENT WITH THE ORDINANCES, PLANS, AND POLICIES OF THE CITY OF NEWPORT BEACH. THIS APPROVAL DOES NOT GUARANTEE THAT THESE PLANS ARE, IN ALL RESPECTS, IN COMPLIANCE WITH CITY BUILDING AND ZONING ORDINANCES, PLANS AND POLICIES. THE CITY OF NEWPORT BEACH RESERVES THE RIGHT TO REQUIRE ANY PERMITTEE TO REVISE THE BUILDING STRUCTURE OR IMPROVEMENT AUTHORIZED BY THESE PLANS BEFORE, DURING OR AFTER CONSTRUCTION, IF NECESSARY TO COMPLY WITH THE ORDINANCES, PLANS AND POLICIES OF THE CITY OF NEWPORT BEACH.

PERMITTEE ACKNOWLEDGMENT:
DEPARTMENT: PUBLIC WORKS
GENERAL SERVICES
FIRE
GRADING
PLANNING
EAMP
BY: [Signature]
DATE: 11-3-06
APPROVAL TO ISSUE: [Signature]
DATE: 11-3-06



BUILDING SECTION "D"

SCALE: 1/4" = 1'-0"

1st. PLAN CHECK
04-14-2006

2nd. PLAN CHECK
05-18-2006

FIELD REVISION
11-03-2006

K.A. JEHEBER

PLANNING / DESIGN CONSULTANT

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NEWPORT BEACH, CALIFORNIA

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BUILDING SECTIONS

"C" and "D"

A PROJECT FOR:

ZFRT 34th STREET, LLC.

PROJECT ADDRESS:

3401 BALBOA BLVD.

NEWPORT BEACH, CALIFORNIA

DATE

11/3/2006 10:24 AM

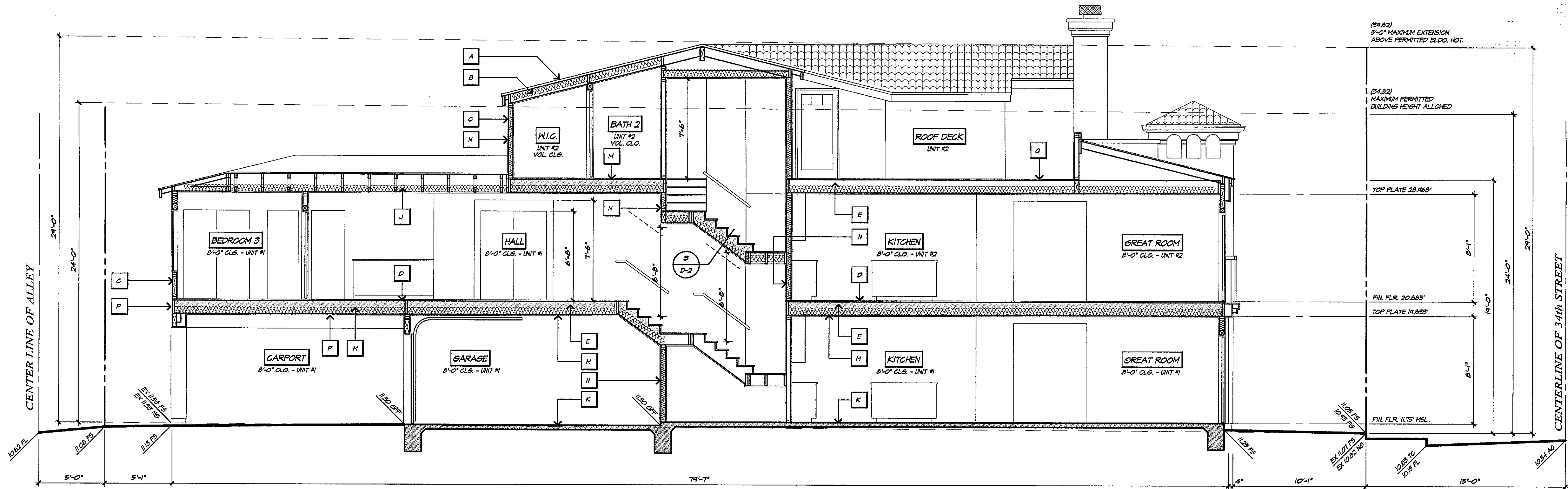
PROJECT #

2005-15

DESIGNER

SHEET #

A-8

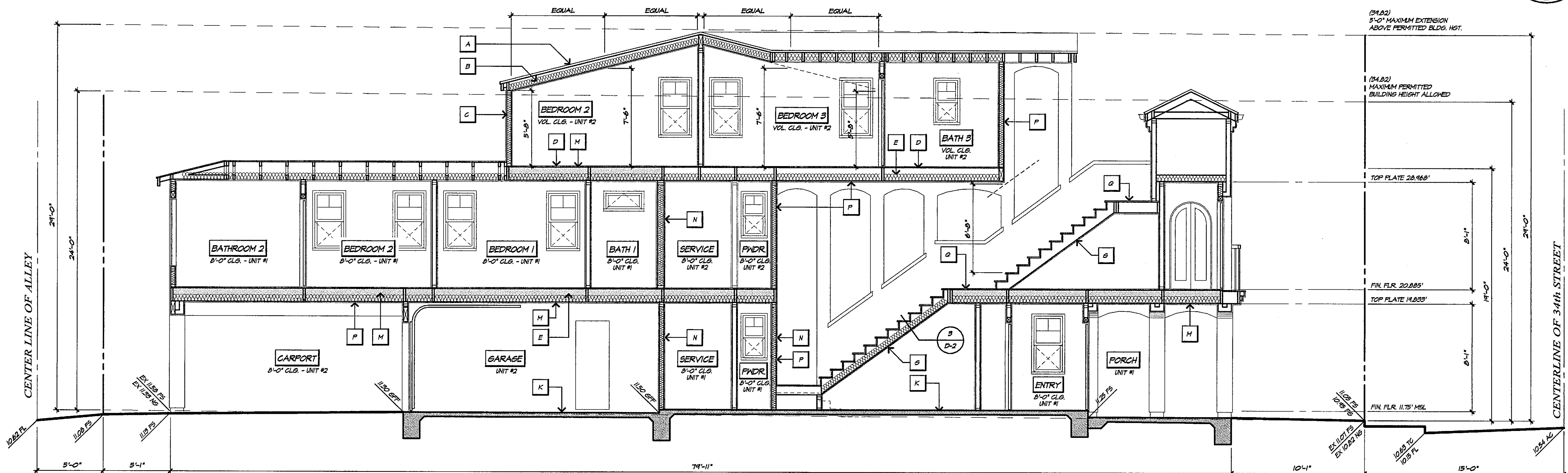
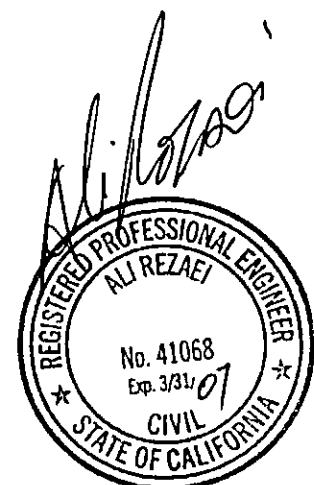


BUILDING SECTION "C"

SCALE: 1/4" = 1'-0"

SECTION NOTES

- | | | |
|---|--|---|
| A. ROOF SHEATHING PER STRUCTURAL DRAWINGS | B. 1-HOUR / STC 50 RATING AT WALLS AND CEILING AT USABLE SPACE UNDER STAIRS - SEE DETAIL # 3 / D-2 | M. 1-HOUR RATED FLOOR / CEILING ASSEMBLY WITH MINIMUM STC-50 RATINGS - SEE DETAIL # 1 / D-2 |
| C. 2X4 OR 3X4 STUD WALL - SEE FRAMING PLANS | H. 1-HOUR / STC 50 RATING AT ALL WALLS, CEILING AND FRAMING MEMBERS OF GARAGE - SEE DETAIL # 1 / D-2 | N. 1-HOUR RATED WALL ASSEMBLY WITH MINIMUM STC-50 RATINGS - SEE DETAIL # 2 / D-2 |
| D. FLOOR SHEATHING PER STRUCTURAL DRAWINGS | J. INSULATION PER TITLE 24 CALCULATIONS SEE SHEET T-24 | P. EXTERIOR LATH AND PLASTER PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL WOOD BASE SHEATHING C.B.G. 2504.4 |
| E. FLOOR FRAMING PER STRUCTURAL DRAWINGS | K. CONCRETE SLAB AND FOUNDATION PER STRUCTURAL DRAWINGS | Q. "DECK-O-TEX" HEATHER GUARD WATER PROOF DECKING 1200R 1530. |
| F. 5/8" GYPSUM BOARD (TYPICAL UNLESS NOTED OTHERWISE) | L. PROVIDE FIRE STOPS VERTICAL AND HORIZONTAL IN ENCLOSED SPACES AT 10'-0" INTERVALS MAXIMUM PER U.B.C. SEC. 708 | |



BUILDING SECTION "D"

SCALE: 1/4" = 1'-0"

1st. PLAN CHECK
04-14-2006

2nd. PLAN CHECK
02-15-2006

R.A. JEHEBER
PLANNING / DESIGN CONSULTANT
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NEWPORT BEACH, CALIFORNIA
(949) 723-4393 FAX: (949) 723-0719

**BUILDING SECTIONS
"C" and "D"**

A PROJECT FOR:
ZFRT 34th STREET, LLC.
PROJECT ADDRESS:
3401 BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA

DATE
5/17/2006 5:51 PM

PROJECT#
2005-15

DRAWN BY:

DATE
5/17/2006 5:51 PM

PROJECT#
2005-15

DRAWN BY:

A-8
20 of 36

SEE ALSO THE CLOUDED REVISIONS
ON THE REVISED SHEET(S)